



OCONEE COUNTY ZONING CHANGE APPLICATION

Requested Action:

Rezoning from: NA to NA Change in Conditions of Approval for Case # : NA
 Special Use Approval for: Contractors Showroom Office Warehouse in the AG Zoning District

X

Applicant

Name: BEALL & COMPANY, LLC (Kenneth A. Beall, member) Name: Oconee Medical Properties, LLC

Address: 3651 Mars Hill Road Suite 1400
(No P.O. Boxes)
Watkinsville, GA 30677

Telephone: 706.318.5048

Email: ken@beallandcompany.com

Applicant is (check one): the Property Owner Not the Property Owner (attach Property Owner's Authorization)

Applicant's Certification: I hereby certify that the information contained in and attached to this application is true and correct.

Signature: Kenneth A. Beall Date: 9/26/25 Notarized:



Property

Location: 1691 Jimmy Daniel Road
(Physical Description)
 Intersection of Silver Leaf Road & Jimmy Daniel Road

Tax Parcel Number: C 01 006A

Size (Acres): 5.014 Current Zoning: AG

Future Development Map—Character Area Designation: _____

Property Owner

Name: Oconee Medical Properties, LLC

Address: 2901 Vintage Drive
(No P.O. Boxes)
Watkinsville, Ga 30677

Telephone: _____ Contact: Tim Burgess

Email: ridgeitim1@aol.com

Use

Current Use: undeveloped WMAA contract

Proposed Use: Contractors showroom / office / storage
 Owners plan to build office/showroom/storage
20,000 SF building in center of 5.014 acre tract
 uses list.

Regional Center

Attachments (check all that apply)

- Property Owner's Authorization (if applicable)
- Application Fee
- Warranty Deed
- Typed Legal Description
- Plat of Survey
- Disclosures (Interest & Campaign Contributions)
- Impact Analysis (SUP)
- Narrative (Detailed Description of the Request)
- Concept Plan
- Attachments to the Concept Plan:
 - Water and/or Sewer Capacity Letter from OCUD
 - Representative Architecture/Photographs
- Proof all property taxes paid in full
- Other Attachments: see upload sheets

For Oconee County Staff Use Only

Application

Date Received: _____ Date Accepted: _____

DRI Transmitted to RDC Date: _____ N/A

Date Submitted: _____ Findings Complete

Posted: _____ Ad: _____ Ad: _____

Application Withdrawn Date: _____

APPLICATION NUMBER

Action	Planning Commission	Date: _____
	<input type="checkbox"/> Approval	<input type="checkbox"/> With Conditions
	<input type="checkbox"/> Denial	
	Board of Commissioners	Date: _____
	<input type="checkbox"/> Approved	<input type="checkbox"/> With Conditions
	<input type="checkbox"/> Denied	

AFTER RECORDING RETURN TO:
FORTSON, BENTLEY & GRIFFIN, P.A.
2500 DANIELL'S BRIDGE ROAD
BUILDING 200, SUITE 3A
ATHENS, GA 30606

File No. 46890GMH

DOC# 003080
FILED IN OFFICE
6/27/2014 10:01 AM
BK#1246 PG#179-180
ANGELA ELDER-JOHNSON
CLERK OF SUPERIOR
COURT
OCONEE COUNTY

Angela Elder-Johnson

REAL ESTATE TRANSFER T
AX
PAID: \$340.40

PL 61 108-2014-807

STATE OF GEORGIA
COUNTY OF OCONEE

LIMITED WARRANTY DEED

THIS INDENTURE, made and entered into this 27th day of June, in the year of our Lord Two
Thousand Fourteen (2014) between

THE EDWARD D. SUMNER COMPANY, a Georgia corporation and JOE MILLIGAN
as Grantor, and

OCONEE MEDICAL PROPERTIES, LLC, a Georgia limited liability company
of the County of Madison, State of Georgia, as Grantee.

In this deed, wherever the context so requires, the masculine gender includes feminine and/or neuter and the singular number includes the plural. Wherever herein a verb, pronoun or other part of speech is used in the singular, and there be more than one Grantor or Grantee, said singular part of speech shall be deemed to read as the plural, and each Grantor shall always be jointly and severally liable for the performance of every promise and agreement made herein. Wherever herein Grantor or Grantee is used, the same shall be considered to mean as well, the heirs, executors, administrators, successors, representatives and assigns of the same.

WITNESSETH, that the said Grantor, for and in consideration of the sum of **TEN DOLLARS (\$10.00)** AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property, to wit:

ALL that tract or parcel of land, together with all improvements thereon, situate, lying and being in the 1331st District, G.M., Oconee County, Georgia, containing 5.014 acres, more or less, and being more particularly shown according to a plat of survey entitled "Survey for: Estate of Mary B. Epps" dated May 27, 2004, prepared by Ben McLeroy & Associates, Inc., Engineers & Surveyors, and being recorded in Plat Book 35, page 90, in the Office of the Clerk of the Superior Court of Oconee County, Georgia, reference being hereby made to said plat for a more complete description of the property herein conveyed.

The property is known as 1691 Jimmy Daniel Road according to the present system of numbering in Oconee County, Georgia.

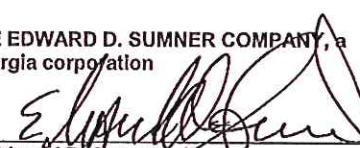
The above described property is conveyed subject to all easements, rights of way, reservations, restrictions and all other matters of record.

TO HAVE AND TO HOLD the said described property, with all and singular, the rights, members and appurtenances thereunto appertaining, to the only proper use, benefit and behoof of the said Grantee, his heirs, executors, administrators, successors and assigns, forever; in FEE SIMPLE.

AND THE SAID GRANTOR will warrant and will forever defend the right and title to the above described property unto the said Grantee, his heirs, executors, administrators, successors and assigns, against all persons lawfully claiming through or under the undersigned.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand, affixed his seal, and delivered these presents the day and year first above written.

THE EDWARD D. SUMNER COMPANY, a
Georgia corporation

By: 
Edward D. Sumner, Jr.

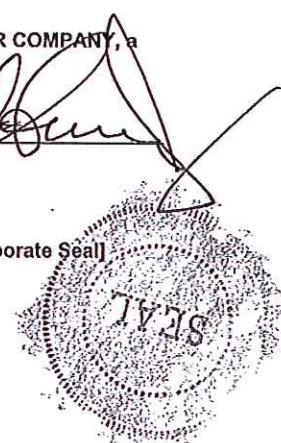
As its: President

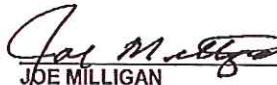
[Corporate Seal]

Signed, sealed and delivered in the
presence of:

Lisa Patterson Collection
Unofficial Witness

Notary Public



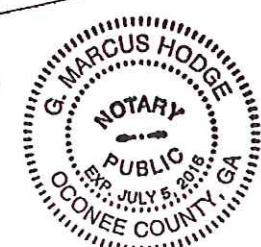

JOE MILLIGAN

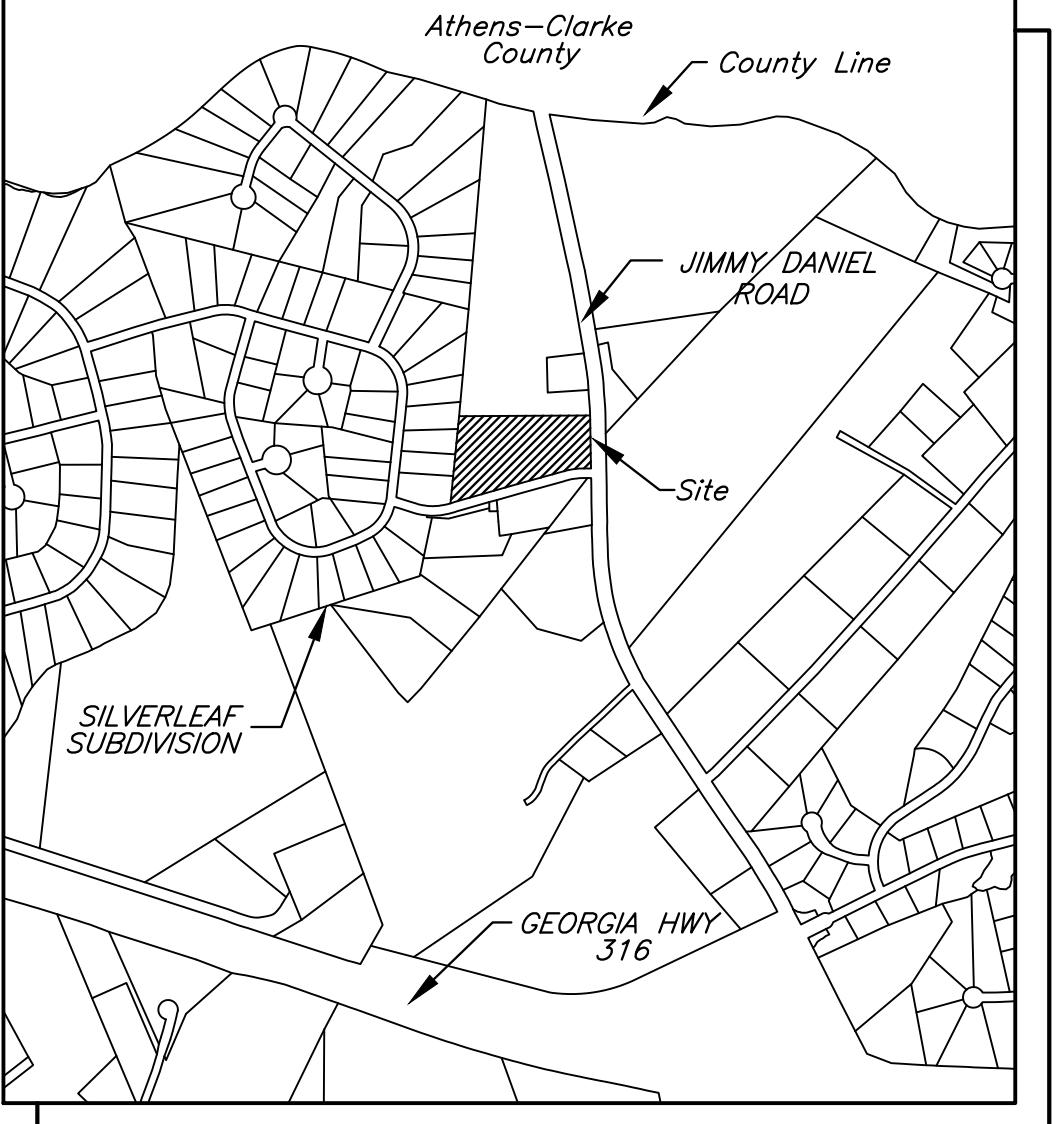
(SEAL)

Signed, sealed and delivered in the
presence of:

Lisa Patterson Collection
Unofficial Witness

Notary Public





Site Location Map
Scale: 1"=1000'

WETLANDS CERTIFICATION

The design professional whose seal appears herein certifies the following: (1) the Oconee County Generalized Wetlands Map has been consulted; (2) the appropriate plan sheet indicates wetlands as shown on the map or as determined by a certifying wetlands delineator; and (3) if wetlands are indicated the landowner or developer has been advised that land disturbance of protected wetlands shall not occur unless the appropriate Section 404 Permit or Letter of Permission has been obtained from the U.S. Corps of Engineers for jurisdictional wetlands, or approval has been obtained from Oconee County to disturb other (non-jurisdictional) wetlands.

DOES DOES NOT

Indicate wetlands as shown on the map or as determined by a certifying wetlands delineator; and (3) if wetlands are indicated the landowner or developer has been advised that land disturbance of protected wetlands shall not occur unless the appropriate Section 404 Permit or Letter of Permission has been obtained from the U.S. Corps of Engineers for jurisdictional wetlands, or approval has been obtained from Oconee County to disturb other (non-jurisdictional) wetlands.

PROJECT DATA

Owner/Developer: Oconee Medical Properties, LLC, 1272 Moons Grove Church Road, Colbert, GA 30628
24 Hour Contact: Tim Burgess (706) 202-4200
Authorized Agent: Beall & Company, 3651 Mars Hill Road, Suite 1400, Watkinsville, GA 30677 (706) 543-0907
Address: 1691 Jimmy Daniell Road
Tax Parcel #: C01-006A
Total Project Acreage: 5.01 Acres
Existing Zoning: AG (Agricultural)
Proposed Zoning: AG SUP (Agricultural Special Use Permit)
Existing Use: Undeveloped Parcel
Proposed Use: Contractors Office/Showroom/Warehouse/Corporate Headquarters with limited fenced outdoor storage
Building Setbacks: Front: 40'
Side: 25'
Rear: 25'
Flood Plain: This tract of land does not lie within the 100 year flood zone per FIRM Community Panel 13219C006E Dated 09/15/2022
Environmental Areas: State waters do not exist on the site or within 200 FT of the site.

LANDSCAPE STRIP LEGEND

LANDSCAPE STRIP & VUA SCREENING
15' LANDSCAPED BUFFER
50' LANDSCAPED ZONING BUFFER

Landscape Strip: 10 FT Width, 142 FT Total Street Frontage Length
15' Landscaped Buffer: 15 FT Width, 1393 FT Total Lengths
50' Landscaped Buffer: 50 FT Width, 421 FT Total Length
Tree Requirements: 40 Required Landscape Strip Large Trees (1 Large Tree per 40 LF of Landscape Strip)
1,585 LF / 40 = 40

Topography/Contour Interval:

Topographic map at 2' contour interval was produced by Woods Land Surveyors, Inc. for Beall & Company, dated 1/12/2015. Ninety percent of the contour elevations are guaranteed to be at a level of accuracy of $\frac{1}{2}$ contour interval. Level of accuracy has been verified with field run ground control.

Water Supply:

Oconee County Water Resources Department

Sewage Disposal:

Oconee County Water Resources Department

Proposed Utilities:

Power, Water, Sanitary Sewer, Cable, Internet, Telephone (All proposed utilities are to be located) (within utility easements)

Solid Waste:

By Private Contract Service

Surface Drainage:

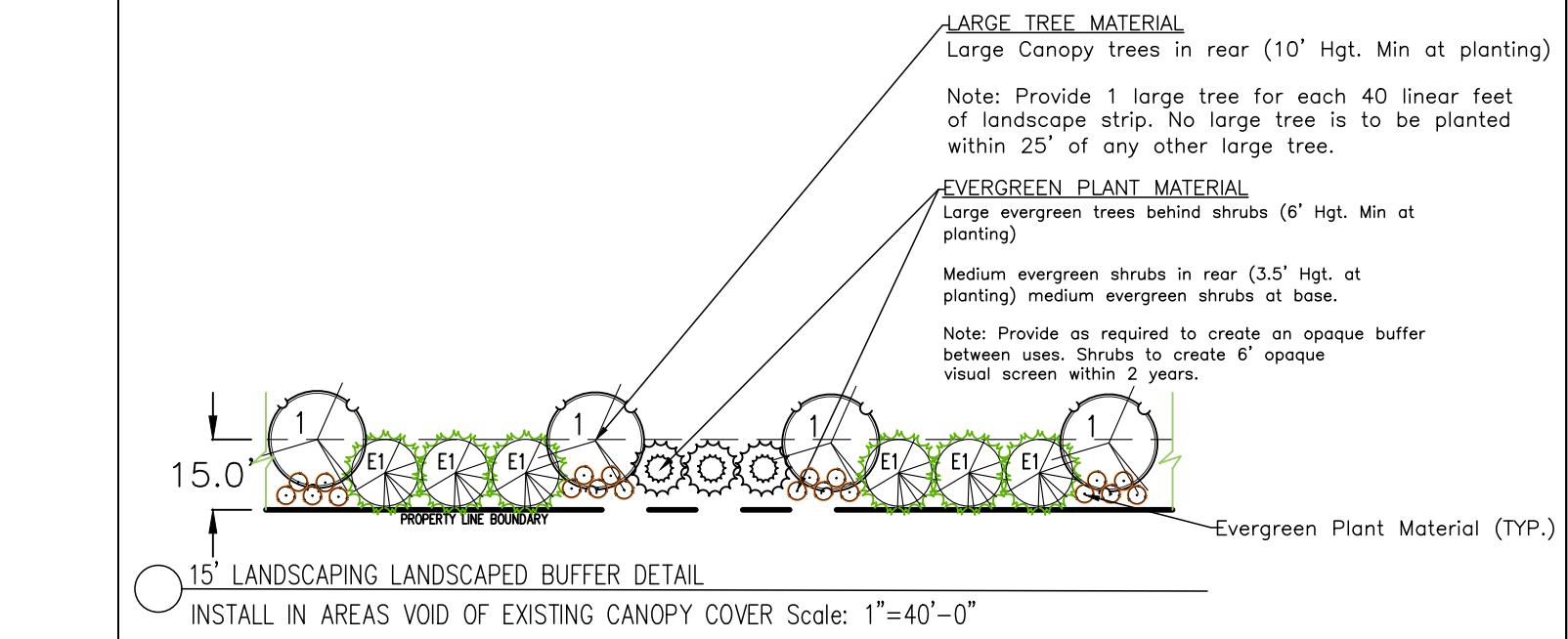
Storm water will be directed via curb and gutter to a storm sewer system and a stormwater management facility.

Parking:

Warehouse 17,000 SF
0.5 Per 1,000 square feet of gross floor area
(0.5 * 17 = 9 Spaces)

Office/Showroom 3,000 SF
3.0 Per 1,000 square feet of gross floor area
(3.0 * 3 = 9 Spaces)

18 Standard 1 Handicap

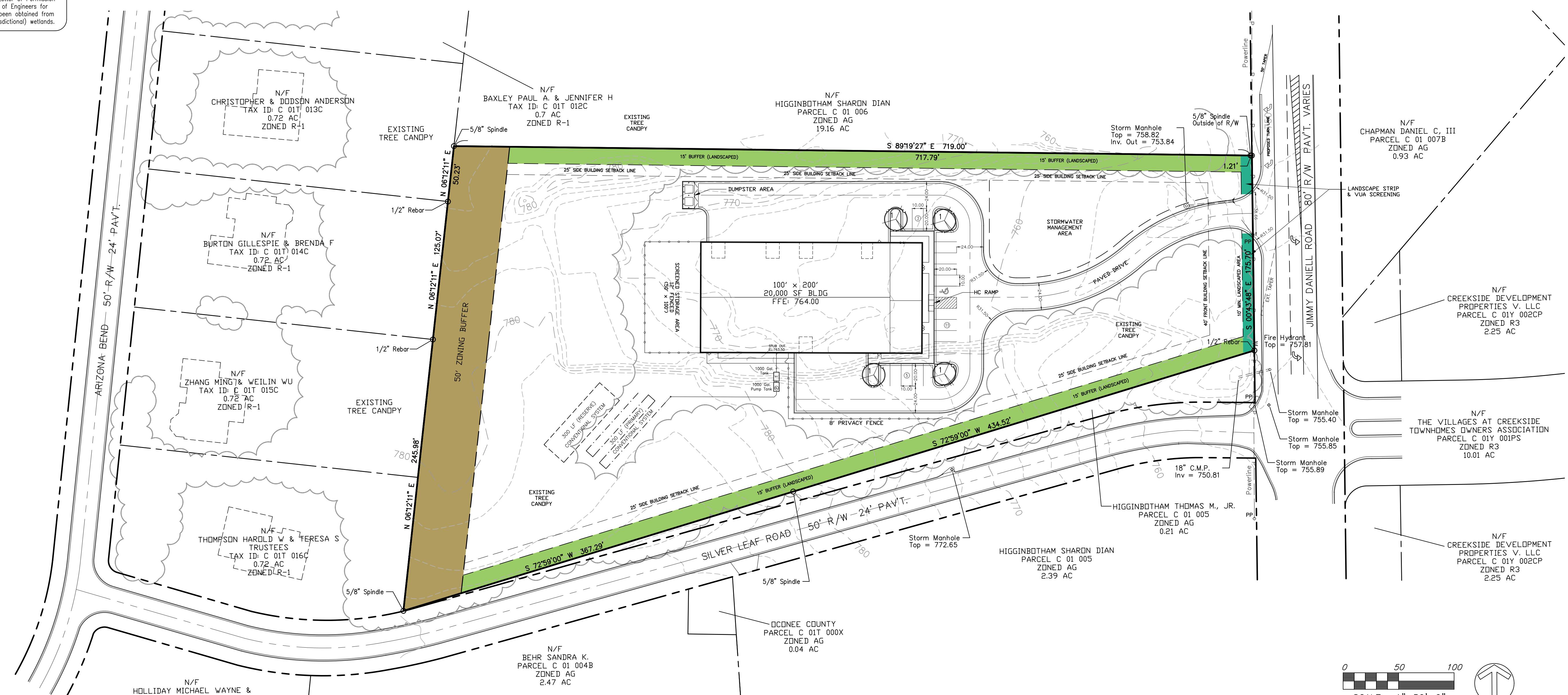
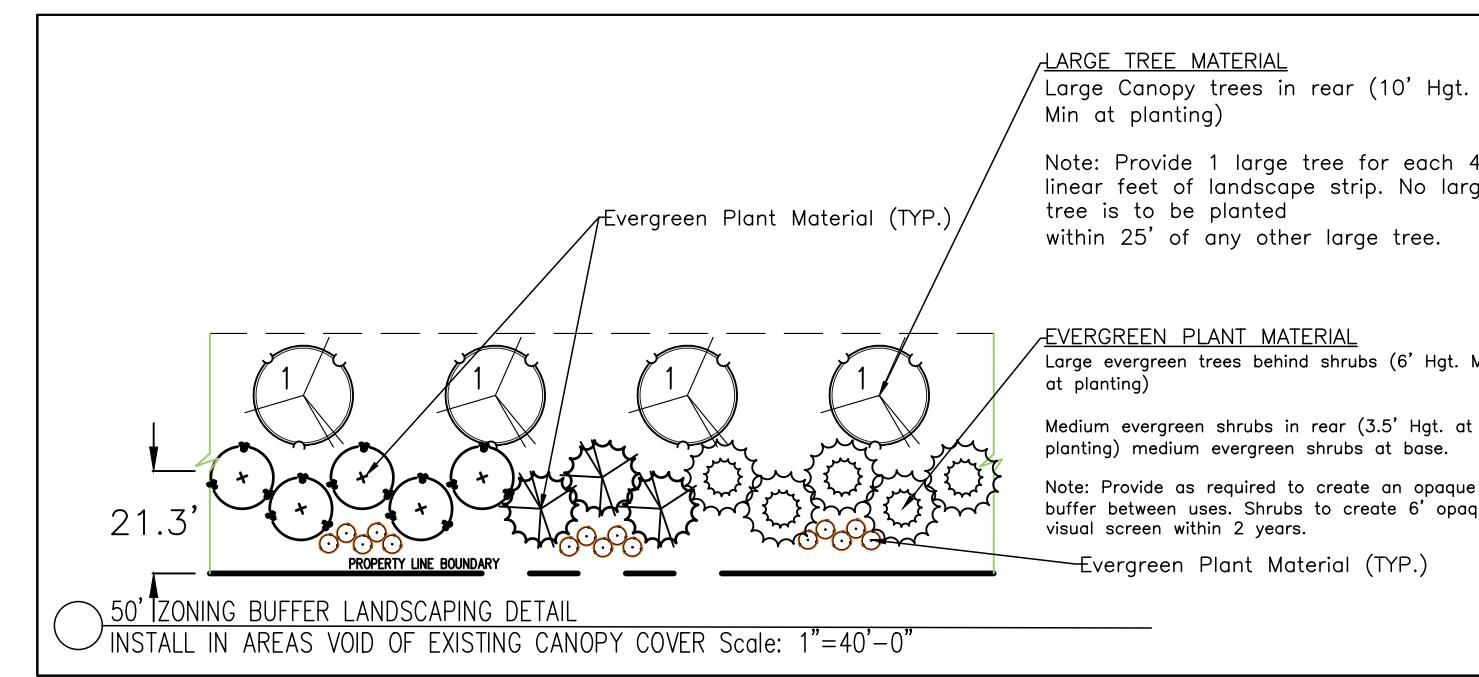


PLAN NOTES

- 1) Storm Water Management shall be in accordance with Oconee County, state and other appropriate ordinances and regulations in effect at time of construction plan approval.
- 2) Sign locations and/or permits are not included with these documents. Applications for sign permits are to be submitted separately to the Oconee Code Enforcement Department.
- 3) Tree save areas are not illustrated on this rezone concept plan. Tree save areas will be determined by the limits of disturbance on construction plans to be reviewed by Oconee County Development Review Committee.
- 4) See Narrative for proposed Development Schedule.
- 5) No Roads are proposed on these plans.
- 6) All utilities are approximately located.

LOT COVERAGE TABLE			
TOTAL TRACT ACRES	TOTAL TRACT SF	218366	
LAND USE	AREA (AC)	AREA (SF)	% OF TOTAL
ALLOWED LOT COVERAGE	5.01	218366	100%
STRUCTURES	0.459	20000	9.16%
DRIVES/PARKING	0.664	28936	13.25%
SIDEWALK	0.034	1472	0.67%
WALLS	0.000	0	0.00%
EXISTING ROAD PAVEMENT TO BE REMOVED	0.000	0	0.00%
Reserved	0.000	0	0.00%
Off-Site Paving (Not Applied to Total)	0.000	0	NA
TOTAL INCREASE IN IMPERVIOUS COVER	1.16	50408	23.08%
TOTAL PERVIOUS COVER	3.86	167958	76.92%

BUFFER NOTE: BUFFERS ARE TO BE SUPPLEMENTAL IN NATURE TO RETAIN EXISTING TREES AS NECESSARY FOR SUSTAINABILITY AND FUNCTION.



BEALL & COMPANY
LAND PLANNING
LANDSCAPE ARCHITECTURE
SITE ENGINEERING
3651 MARS HILL ROAD
SUITE H00
WATKINSVILLE, GA 30677
(706) 543-9007
www.beallandcompany.com

A-G SPECIAL USE PERMIT FOR
OCONEE COMMERCIAL DESIGN-BUILD
OFFICE/SHOWROOM/WAREHOUSE/CORPORATE HQ
5.0 ACRES
TAX ID: C01-006A
1691 JIMMY DANIEL ROAD
BOGART, GA 30622

OWNER(S)/PERMITTEE
OCONEE MEDICAL PROPERTIES LLC
1277 MOONS GROVE CHURCH ROAD
COLBERT, GA 30628
24 HOUR CONTACT:
TIM BURGESS
706-202-4200
RidgeTim1@aol.com

GEORGIA
REGISTERED
LANDSCAPE ARCHITECT
KENNETH A. BEALL
GSWCC LEVEL II
CERTIFICATION #025972

DATE: 10/10/2025
1 SUP Concept Plan Submittal
REVISION
DRAWN BY: KGB
DESIGNED BY: KGB
CHECKED BY: KAB

A-G SPECIAL USE PERMIT
CONCEPT PLAN

SHEET

SU-1

NOTICE: THESE DRAWINGS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THESE DRAWINGS MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF BEALL AND COMPANY AND ASSOCIATED PROJECT CONSULTANTS.

DATE: 10/10/2025
JOB: 24-008
NOT RELEASED FOR CONSTRUCTION

PROPERTY OWNER'S
DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
APPLICATION FOR REZONING

Pursuant to section 36-67A-1 et seq. of the Georgia Code Annotated, adopted by the Georgia General Assembly, effective July 1, 1986, the following disclosure is mandatory. When any applicant for rezoning action has made, within two years immediately preceding the filing of that applicant's application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official, it shall be the duty of the applicant and the agent representing the applicant to file a disclosure report with the governing authority of the respective local government.

Any applicant for rezoning action knowingly failing to make any disclosure as required by Code Section 36-67 A-1 et seq. shall be guilty of a misdemeanor.

A. Name of local government official to whom the campaign contribution or gift was made (or N/A if not applicable):

None

B. The dollar amount of each campaign contribution made by the applicant to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution (or N/A if not applicable):

Amount: \$0.00

Date of contribution: NA

C. Enumeration and description of each gift having a value of \$250.00 or more made by the applicant to the local government official during the two years immediately preceding the filing of this application for rezoning (or N/A if not applicable).

\$0.00

Signature of owner: 
Tim Burgess, Oconee Medical Properties LLC

Date: 9/26/25

Signature of applicant: 
Kenneth A. Beall, Beall & Company LLC

Date: 9/26/25

Signature of Notary Public: 
Kenneth Grey Beall

Date: 9/26/25



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Amount: \$0.00

Date of contribution: NA

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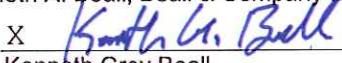
\$0.00

Signature of owner: 
Gavin Griffith, Oconee Medical Properties LLC

Date: 9/26/25

Signature of applicant: 
Kenneth A. Beall, Beall & Company LLC

Date: 9/26/25

Signature of Notary Public: 
Kenneth Grey Beall

Date: 9/26/25



DISCLOSURE OF INTEREST
APPLICATION FOR REZONING
OCONEE COUNTY, GEORGIA

To the best of my knowledge, no local government official, including members of the Planning Commission and members of the Board of the Commissions, has a property interest in any real property affected by a rezoning action or has a financial interest in any business entity which has a property interest, or has a member of his/her family having such an interest.

Signature of owner

x

Gavin Griffeth

Date

x

9/26/2025

Signature of Applicant

Date

Kenneth A. Beall

Kenneth A. Beall

x 9/26/2025

Signature of Notary Public

Date

x

Kenneth G. Beall

Kenneth Grey Beall

x 9/26/2025



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APPLICATION FOR REZONING
OCONEE COUNTY, GEORGIA

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Signature of owner

x

Tim Burgess

Date

x

9/26/2025

Signature of Applicant

Date

Kenneth A. Beall

Kenneth A. Beall

x 9/26/2025

Signature of Notary Public

Date

Kenneth Grey Beall

Kenneth Grey Beall

x 9/26/2025



LEGAL DESCRIPTION
5.014 Acre Tract

All that tract or parcel of land, lying and being in G.M.D 1331, Oconee County, Georgia, as described on the Survey For: ESTATE OF MARY B. EPPS, dated May 27, 2004, surveyed by BEN MCLEROY & ASSOCIATES, and more particularly described as follows:

Commencing at an iron pin denoting a northern right-of-way pin of Silver Leaf Road at its intersection with the west right-of-way of Jimmie Daniel Road;

Thence, North 1 degrees 42 minutes 49 seconds West, a distance of 46.98 feet to an iron pin at the western right-of-way of Jimmie Daniel Road, said point being the **True POINT OF BEGINNING**;

Thence, South 72 degrees 00 minutes 15 seconds West, a distance of 434.61 feet to a 5/8" rod,

Thence, South 72 degrees 00 minutes 15 seconds West, a distance of 367.25 feet to a 5/8" spindle at a property corner,

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 121.02 feet to a point,

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 125.00 feet to a 1/2" iron pin;

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 125.00 feet to a 1/2" iron pin;

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 50.27 feet to a 5/8" spindle at a property corner;

Thence, North 89 degrees 41 minutes 33 seconds East, a distance of 719.00 feet to a 5/8" spindle;

Thence, North 89 degrees 41 minutes 33 seconds East, a distance of 1.29 feet to a point on the right-of-way line of Jimmie Daniel Road;

Thence, South 01 degrees 43 minutes 57 seconds East, a distance of 175.75 feet to an Iron pin at the right-of-way of Jimmie Daniel Road, said point being the **POINT OF BEGINNING**.

Narrative Description of the Request

Special Use Permit to Build Construction Contractors Office/Showroom/Warehouse Building on AG Acreage
Parcel Owned By: OCONEE MEDICAL PROPERTIES LLC (AKA Tim Burgess and Gavin Griffith)

Parcel Acreage: 5.041 Acre; Parcel C 01 006A

- 1691 Jimmy Daniell Road
Oconee County Georgia

Narrative Introduction

The subject AG zoned parcel formerly owned by *THE EDWARD D. SUMNER COMPANY AND JOE MILLIGAN* was sold and conveyed to OCONEE MEDICAL PROPERTIES LLC on June 27, 2014.

OCONEE MEDICAL PROPERTIES LLC has held the property for the past 10+ years and now desires to construct their corporate headquarters building on the subject 5.041 acre parcel in this northern portion of Oconee County in close proximity to the University Parkway/SR Hwy 316.

Beall & Company has been engaged by the property owners to act as agent in the preparation of the necessary rezone documentation associated with the rezone and special use request.

The Site

The subject property fronts on the Jimmy Daniell Road which provides direct access to the Atlanta Highway and western Athens-Clarke County to the north, and provides direct access to the University Parkway/SR Hwy 316 to the south.

The parcel is predominantly wooded land with a gentle slope from the rear property line abutting *Silverleaf Subdivision* draining diagonally toward the northeastern property corner fronting on Jimmy Daniell Road.

The property frontage on *Jimmy Daniell Road* right-of-way is 175.75 LF; the subject property also partially abuts a portion of *Silver Leaf Road*; the rear portion of the subject parcel abuts four R1 zoned lots in *Silver Leaf Subdivision* for a distance of 421.29 LF; the northern boundary of the subject parcel abuts 19.16 acre AG zoned property owned by Sharon Dian Higginbotham (C 01 006) which extends to *McNutt Creek* (Athens-Clarke County line).

The 2.39 acre AG zoned parcel (C 01 005) fronting on *Jimmy Daniel Road* located across *Silver Leaf Road* is also owned by Sharon Dian Higginbotham; the 2.47 acre AG parcel (C 01 004B) also located across Silver Leaf Road is owned by Sandra K. Behr; the 0.92 acre AG zoned parcel (C 01 007B) located across Jimmy Daniell Road owned by Daniel C Chapman III is a residential cabin which backs up to a small pond.

All of the above mentioned properties to the north, south, east, and west of the subject property is all labeled as *REGIONAL CENTER* character area on the Future Land Use Map of Oconee County.

The Special Use Permit Plan

The Special Use Permit Plan depicts the location on the 20,000 SF construction contractor's office/showroom/warehouse building and related parking areas, driveway access to the facilities, stormwater management location, required parking, sidewalks, proposed buffers, tree canopy to remain, security lighting, existing topography, boundary lines, and related items as follows:

Access, Driveway, and Road Improvements

A new access driveway is to be constructed from Jimmy Daniell Road to provide access to the front and both sides of the building as shown. All construction will be funded by the developer. Driveway and utility extensions will be made as necessary to serve the project and to comply with Oconee County, state, and federal regulations as applicable.

Sidewalks and handicap ramps for barrier free access will be installed as required. All utilities will be underground. Extensive landscaping including street trees will be installed throughout the development. The project infrastructure will be developed in one phase over a 6 to 10-month period. Build-out of all of the proposed building is anticipated to last around 12 months.

Buildings

Plans for the 20,000 square foot building have already been prepared and submitted along with other required documents to accompany the SUP submittal. The interior space will be divided into approximately 3,000 square feet of office/showroom space and approximately 17,000 square feet of warehouse space.

See attached building plans prepared by K.A. OLDHAM DESIGN INC., Newnan GA. The building exteriors materials will be as labeled on the building construction plans. Building heights, ridge heights, and roof pitches will be as labeled on the Building Construction Plans.

Maximum Building Hgt. Proposed: 28'-10"
Front Elevation Percentage of Glass: 25.56% (545 SF of 2,132 total front facade SF)

Water Supply

A county water mainline exists within the right-of-way on the west side of Jimmy Daniell Road. A fire hydrant exists at the southeast property corner on the Jimmy Daniell Road right-of-way. A water service line will be extended from the existing watermain to a meterbox to be set at the property line. New water mains will be extended if required for fire protection from the existing water mainline. Water capacity for the development has been requested via letter submitted to the Oconee Water Resources Department.

The Average Daily Flow = 20,000 SF x 5 gpd/100 SF = 1,000 gpd = 41.67 gph = 0.69 gpm

Sewage Disposal

Gravity sanitary sewer lines do not exist in the Jimmy Daniell Road right-of-way near the project. Given the low flow gpd, gph, and gpm, the owners of the property are of the opinion that a commercial septic system as approved by the Oconee Environmental Health Department will be adequate to serve the project.

Surface Water Drainage

Concrete curb & gutter, county approved pipe, grassed and natural waterways, and sheet flow will be employed to collect and divert storm-water to proposed detention/retention areas, infiltration, and water-quality basins. Post development run-off will be maintained at predevelopment rates for 2, 5, 10, 25, and 50 year events. Proposed storm-water management structures will be designed to achieve the required capacity and volume based on hydrological analysis to be performed and submitted with site improvement construction plans, and in accordance with provisions of the *Unified Development Code of Oconee County*.

(NOTE: Portions of storm water management in its final form may be addressed in vegetative areas of the project, as well as in the primary stormwater management facility as shown near the front of the property on the rezone concept plan.

Traffic Impact

Scenario #1: Trip Generation Land Use Code: (714) Corporate Headquarters (realistic assessment)

Number of Buildings Proposed:	1
Total Square Footage of Buildings:	20,000 SF (3000 SF Office / 17,000 SF Warehouse)
Total Employee Allowance (assumed):	10
Average Trip Ends/Employee	2.27 x 10 employees = 23 total ADT
AM Peak Hour Trips/employee weekday:	0.44 x 10 employees = 5 total AM Peak Hour
PM Peak Hour Trips/employee weekday:	0.38 x 10 employees = 4 total PM Peak Hour

Worst Case Scenario is 10 employees all arrive at the same peak AM Peak hour = 10 trips

Worst Case Scenario is 10 employees all depart at the same peak PM Peak hour = 10 trips

Scenario #2: Trip Generation Land Use Code: (180) Special Trade Contractor (academic assessment)

(per assessment by Mr. Michael Greenlee, Traffic Engineer, Travis Pruitt & Associates, Inc. 12/17/2005 see attachment)

Number of Buildings Proposed:	1
Total Square Footage of Buildings:	20,000 SF (3000 SF Office / 17,000 SF Warehouse)
Average Daily Trips:	196
AM Peak Hour Trips:	33
PM Peak Hour Trips:	39

Schedule

The petitioners plan to complete the special use permit efforts on the subject property by mid February/March 2026. Construction of the project infrastructure and building will commence immediately upon approval of the construction plans. The development should be completed within 12 months of construction plans permitting.

Maintenance of Common Areas

There will be no common areas. The property owners are responsible for all maintenance of the property.

Buffers

Street trees and parking lot buffers will be installed in the development. A 50' vegetative buffer is proposed along the rear boundary of the property adjacent to the R1 zoned Silver Leaf subdivision lots.

Utilities

All utilities are proposed to be underground. Any overhead services that currently exist will be rerouted within the appropriate utility corridor acceptable to Oconee County and the affected utility company.

Proposed utilities are power, water, telephone, gas, fiber optic, cable TV, & internet access.

Garbage/Solid Waste Collection

Solid waste collection will be handled by private contract service.

Public & Semi-public Areas

Waterline easements, drainage easements, access easements, and/or road easement/rights-of-way will be established as needed. Easements for power, telephone, cable TV, and gas will be dedicated as required for specific utility construction and/or maintenance.

Outdoor Lighting

Any light fixtures on metal or fiberglass poles will be "full cut-off and will be installed to illuminate the development for safety and security. These light standards will be oriented inward and down and away from adjoining residential uses.

Project Valuation

Based on a building square footage build-out of 20,000 SF also inclusive of all site development costs such as land, paved parking, utilities, storm drainage, commercial septic system, landscaping, and permitting, then the total value of the project at build-out will be approximately \$2,100,000.00.

Impact on the School System

This projected value above will positively enhance Oconee County's tax base and help ease the strain that other types of necessary development can place on social services and on the Oconee County's school system.

The proposed plan will have a positive impact on the tax base and the school system since the project will generate no additional students; there will also be favorable initial and ongoing ripple economic impacts on the county and on the school system as a result of the requested special use and commercial development of the property

Based on \$9,494.00 per million in value the annual taxes to be generated upon completion of the Special Use Permit approved project will amount to $(\$2,100,000.00 \times \$9,494/\$1,000,000) = \$19,937.00$ in county plus school taxes.

OWNER AUTHORIZATION FORMS



OCONEE COUNTY PROPERTY OWNER AUTHORIZATION

FOR APPLICATIONS

I swear that I am the owner of the property located at (Address or Physical Description):

1691 Jimmy Daniel Road

(5.014 acres)

Tax Parcel #: C 01 006A

Which is the subject matter of the attached application, as shown in the records of Oconee County, Georgia.

Oconee Medical Properties, LLC

I authorize the person identified below to act as applicant or agent in the pursuit of the requested action or consideration of this property.

Name of applicant or agent: Beall & Company, LLC (Kenneth A. Beall Member)

Address (No P.O. boxes): 3651 Mars Hill Road - Suite 1400 (The Summit Office Park)

City, State, & Zip Code: Watkinsville, GA 30677

Telephone Number: 706.543.0907 706.318.5048

SIGNATURE OF OWNER OR MANAGING MEMBER: X

Tim Burgess

NAME OF OWNER OR MANAGING MEMBER (PLEASE PRINT): Oconee Medical Properties, LLC

OFFICER POSITION OR MEMBER TITLE, IF APPLICABLE: co-owner

DATE: X 9/26/2025

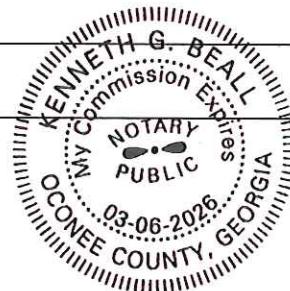
NOTARIZATION:

SWORN TO AND SUBSCRIBED BEFORE THIS 26 DAY OF September, 20 25

NOTARY SIGNATURE: Kenneth G. Beall

DATE: 9/26/25

SEAL:





OCONEE COUNTY PROPERTY OWNER AUTHORIZATION

FOR APPLICATIONS

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City, State, & Zip Code: Watkinsville, GA 30677

Telephone Number: 706.543.0907 706.318.5048

SIGNATURE OF OWNER OR MANAGING MEMBER: X

Gavin Griffeth

NAME OF OWNER OR MANAGING MEMBER (PLEASE PRINT): Oconee Medical Properties, LLC

OFFICER POSITION OR MEMBER TITLE, IF APPLICABLE: co-owner

DATE: X

9/26/2025

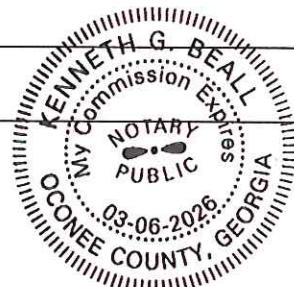
NOTARIZATION:

SWORN TO AND SUBSCRIBED BEFORE THIS 26 DAY OF September, 20 25

NOTARY SIGNATURE: Kenneth G. Beall

DATE: 9/26/25

SEAL:



**Official Tax Receipt
Jennifer Riddle
Oconee County Tax Commissioner
7635 Macon Highway
Suite 300
Watkinsville, GA 30677**

Trans # Year Bill #	Property Description	Original Due	Interest & Penalty	Prev Paid	Amount Due	AMOUNT PAID	TOTAL BALANCE
	OCONEE MEDICAL PROPERTIES LLC. 1272 MOONS GROVE CHURCH ROAD COLBERT, GA 30628				0		
18959 2025-14518	C 01 006A/01 1246/179 806/768-769 35/90 ; JIMMY DANIEL JIMMY DANIELL	2,703.61	47.32	0.00	2,750.93	2750.93	0.00
Register: 8 CHECK #7996	Paid by: OCONEE MEDICAL PROPERTIES LLC.	Thursday, December 18, 2025 11:01:43 AM					

Printed: 12/18/2025 11:01:45 AM

OCONEE COMMERCIAL DESIGN BUILD / MB CONTRACTORS

1691 JIMMY DANIEL ROAD
BOGART, GA 30622

07.XX.25 FOR BID/PERMIT/CONSTRUCTION

OWNER	CIVIL	ARCHITECT	STRUCTURAL	MECHANICAL/PLUMBING	ELECTRIC
OCONEE COMMERCIAL BUILDERS 1181 LANGFORD DRIVE WATKINSVILLE, GA 30677 PHONE: CONTACT:	T.B.D.	K.A. OLDHAM DESIGN, INC. 57 PERRY STREET NEWNAN, GA 30263 PHONE: 770.683.9170 FAX: 770.683.9171 CONTACT: KIP OLDHAM KOLDHAM@KAOD.COM	T.B.D.	T.B.D.	T.B.D.

GENERAL NOTES	GENERAL NOTES (CONT.)	ABBREVIATIONS (CONT)
1. THE GC SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS OF CONTRACT DOCUMENTS PRIOR TO ORDERING OF MATERIALS AND PROCEEDING WITH THE WORK. THE GC IS TO NOTIFY THE ARCHITECT OF ALL DISCREPANCIES AND QUESTIONS AND OBTAIN REQUIRED CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.	19. CONTRACTOR WILL BE RESPONSIBLE FOR THE DISPOSAL OF ALL CONSTRUCTION DEBRIS.	HCP HANDICAPPED HM HOLLOW METAL
2. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	20. ALL MATERIALS STORED ON SITE MUST BE SECURED BY CONTRACTOR.	INSUL INSULATION INT INTERIOR
3. ALL PLUMBING CHASES ARE TO BE VENTED INTO SOFFITS WHERE POSSIBLE AND REQUIRED WHERE UNVENTED SOFFITS ARE INDICATED, REFER TO ELEVATIONS FOR LOCATIONS.	21. ALL MATERIALS STORED OFF SITE SHALL BE STORED IN A BONDED WAREHOUSE.	JBE JOIST BEARING ELEVATION JT JOINT
4. GC SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. GC SHALL PROVIDE INSTALLATION OF OWNER FURNISHED EQUIPMENT AND/OR APPLIANCES WHERE DESIGNATED. GC TO VERIFY WITH OWNER ALL PLUMBING AND ELEC. REQUIREMENTS FOR OWNER FURNISHED EQUIPMENT AND/OR APPLIANCES.	22. CONTRACTOR MUST LOCATE AND MARK ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR DEMOLITION.	LAV LAVATORY
5. GC TO UNDERCUT DOORS AS REQUIRED FOR FLOOR FINISHES, BUT NO MORE THAN CODE ALLOWS FOR RATING REQUIREMENTS. VERIFY ALL UNDERCUT LOCATIONS WITH ANY NOTED REQUIREMENTS PER MECHANICAL DRAWINGS.	23. ALL UTILITIES AND EQUIPMENT WILL BE TESTED AND PROVED IN WORKING ORDER BEFORE JOB IS DEEMED COMPLETE.	MAX MAXIMUM MECH MECHANICAL MFR MANUFACTURER MIN MINIMUM MTL METAL
6. PROVIDE BRACING ABOVE GLAZED OPENING FRAMES, CEILING HEIGHT PARTITIONS WHEN LONG UNBRACED LENGTHS OCCUR AND AT ALL DOORS AND GLAZED OPENING JAMBS AND MULLIONS IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.	24. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF GOVERNING FEDERAL, STATE, AND LOCAL CODES	NA NOT APPLICABLE NFWH NON-FREEZE WALL HYDRANT
7. FLOOR TOLERANCE: IN LAYING OUT AND DETAILING THE WORK TO BE COMPLETED, CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVELNESS RESULTING FROM CONSTRUCTION QUALITY AND LIVE AND DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATIONS SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES. ALIGNMENT OF DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.	25. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING, AND/OR CIVIL INFORMATION NOT INCLUDED IN THE FINAL DRAWINGS.	RD RD REQ REQ REINF REINF RO RO
8. ALL WOOD USED AS STUDS, BLOCKING, OR BRACING SHALL BE FIRE TREATED AS REQUIRED BY CODE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY BLOCKING TO ACCOMMODATE INTERIOR FINISHES AND EQUIPMENT AS DESCRIBED IN THE DOCUMENTS.	26. PARTITIONS ARE DIMENSIONED TO FACE OF STUD UNLESS NOTED OTHERWISE. DIMENSIONS SHOWN ON DRAWINGS SHALL BE CONSIDERED CRITICAL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF DEVIATIONS IN THE PLACEMENT OF WORK PER THESE DIMENSIONS.	SAB SAB SCW SCW SIM SIM SOG SOG STN STN STRUCT STRUCT
9. "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.	27. SEPARATE DISSIMILAR METALS AS DIRECTED TO PREVENT GALVANIC ACTION	TO TO TYP TYP
10. ALL HEIGHTS FOR HANDICAP ELEMENTS ARE TO BE IN ACCORDANCE WITH THE ADA FOR MAKING FACILITIES ACCESSIBLE AND USABLE FOR PHYSICALLY HANDICAPPED PEOPLE. THE GC IS RESPONSIBLE FOR COORDINATION AND PROPER INSTALLATION OF ALL RELATED ELEMENTS.	28. THE DRAWINGS ILLUSTRATE GENERAL WORK SCOPE REQUIREMENTS AND DO NOT ELABORATE ON INSTALLATION TECHNIQUES. WORK PERFORMED SHALL MEET OR EXCEED INDUSTRY STANDARDS, BE PERFORMED IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS, AND SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.	UNO UNO
11. FURNISH ACCESS PANELS IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT MAY BE REQUIRED. ACCESS PANELS SHALL BE EQUAL IN FIRE RATING TO SURFACE IN WHICH THEY OCCUR. REFER TO CONSULTANT DRAWINGS FOR ANY SPECIFIC REQUIREMENTS. FINAL LOCATIONS OF PANELS NOT SHOWN ON ARCHITECTURAL CEILING PLANS SHALL BE APPROVED BY THE ARCHITECT.	29. REFER TO INDIVIDUAL SHEETS FOR NOTES RELATED TO SPECIFIC PARTS OF THE WORK.	OC ON CENTER OPP OPPOSITE OPT OPTION (AL) ORD OVERFLOW ROOF DRAIN
12. PROVIDE CONTROL JOINTS IN GYPSUM WALL BOARD SURFACES AS REQUIRED BY MANUFACTURERS SPECIFICATIONS.	30. COORDINATE ALL PLACEMENT AND SIZING OF STEEL MEMBERS & STRUCTURAL COMPONENTS W/ STRUCTURAL DRAWINGS.	VERT VERT VIF VIF WD WD WWF WWF
13. ALL EXTERIOR LUMBER EXPOSED TO MOISTURE SHALL BE PRESSURE TREATED, UNLESS OTHERWISE SPECIFIED ON PLANS.		
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ITEMS INDICATED ON ALL CONSTRUCTION DOCUMENTS. ALL ITEMS INDICATED ON ANY DRAWING ARE TO BE INCLUDED AS A COMPLETE SYSTEM.		
15. WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT AT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.		
16. OWNER HAS FINAL APPROVAL OF BUILDING MATERIALS, FINISH CHOICES, AND FIXTURE AND APPLIANCE CHOICES.		
17. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING AND FOLLOWING MANUFACTURERS SPECIFICATIONS FOR ALL EQUIPMENT, MATERIALS, AND CONSTRUCTION SYSTEMS.		
18. CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY STRUCTURE FOR WEATHERPROOFING, SECURITY, PRIVACY, AND SUPPORT.		
19. ALL ADVERSE CONDITIONS OF SITE AND BUILDING DISCOVERED DURING WORK MUST BE REPORTED TO THE OWNER/ARCHITECT IMMEDIATELY.		
	ABBREVIATIONS	
	ACT ACOUSTICAL CEILING TILE ADA AMERICAN DISABILITIES ACT AFF ABOVE FINISH FLOOR ALUM ALUMINUM ASST ASSISTANT AUTO AUTOMATIC BLDG BUILDING BM BEAM BO BOTTOM OF BOT BOTTOM OF TRUSS CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLR CLEAR COL COLUMN CONC CONCRETE CONF CONFERENCE CONT CONTINUOUS CORR CORRIDOR COORD COORDINATE CMU CONCRETE MASONRY UNIT DBL DOUBLE DIA DIAMETER DIM DIMENSION DS DOWNSPOUT DWG DRAWING EA EACH ELEC ELECTRIC(AL) ELEV ELEVATION EOS EDGE OF SLAB EQ EQUAL EW EACH WAY EXIST EXISTING EXP EXPOSED EXP JT EXPANSION JOINT EXT EXTERIOR FDC FIRE DEPARTMENT CONNECTION FD FLOOR DRAIN FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FFE FINISH FLOOR ELEVATION FLR FLOOR FRP FIBERGLASS REINFORCED PANEL FRT FIRE RETARDANT TREATED FOB FACE OF BRICK GA GAUGE GALV GALVANIZED GC GENERAL CONTRACTOR GWB GYPSUM WALL BOARD WD WOOD WWF WELDED WIRE FABRIC	DETAIL NUMBER SECTION SYMBOL SHEET NUMBER SHEET NUMBER COLUMN GRID CEILING TYPE CEILING HEIGHT, A.F.F. FINISH FLOOR HEIGHT, A.F.F. ROOM NAME ROOM NUMBER DETAIL NUMBER EXTERIOR ELEVATION

DRAWING INDEX						
SHEET #	SHEET NAME		07.XX.25			
TITLE						
T0.01	TITLE SHEET AND PROJECT INFORMATION		<input checked="" type="checkbox"/>			
A0.01	SITE PLAN		<input checked="" type="checkbox"/>			
ARCHITECTURAL						
LSP.01	LIFE SAFETY PLAN		<input checked="" type="checkbox"/>			
A1.01	FLOOR PLAN		<input checked="" type="checkbox"/>			
A2.01	EXTERIOR ELEVATIONS		<input checked="" type="checkbox"/>			
A2.02	EXTERIOR ELEVATIONS		<input checked="" type="checkbox"/>			
A2.03	ALT. COLOR OPTIONS		<input checked="" type="checkbox"/>			
A3.01	BUILDING SECTIONS		<input checked="" type="checkbox"/>			

CODE SUMMARY		
<u>BUILDING DEPARTMENT</u>		
CITY OF _ BUILDING DEPARTMENT		
ADDRESS		
CITY, GA ZIP CODE		
PHONE NUMBER		
<u>APPLICABLE CODES AND REGULATIONS</u>		
BUILDING	2018 INTERNATIONAL BUILDING CODE W/ GA AMENDMENTS	
MECHANICAL	2018 INTERNATIONAL MECHANICAL CODE W/ GA AMENDMENTS	
PLUMBING	2018 INTERNATIONAL PLUMBING CODE W/ GA AMENDMENTS	
ELECTRICAL	2023 NATIONAL ELECTRICAL CODE W/ GA AMENDMENTS	
FIRE	2018 INTERNATIONAL FIRE CODE W/ GA AMENDMENTS	
GAS	2018 INTERNATIONAL FUEL GAS CODE W/ GA AMENDMENTS	
ENERGY	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ GA AMENDMENTS	
2024 NFPA 101: LIFE SAFETY CODE		
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN		
ANSI 117.1 AMERICANS WITH DISABILITIES ACT		
<u>ZONING CLASSIFICATION</u>		
-		
<u>OCCUPANCY CLASSIFICATION</u>		
OCCUPANCY GROUP(S):	IBC 2018	BUSINESS / STORAGE
	NEPA 101 2024	NEW BUSINESS / STORAGE

The logo for KAOD consists of the letters 'KAOD' in a large, bold, dark blue sans-serif font. Below 'KAOD', the words 'KA OLDHAM DESIGN, INC.' are written in a smaller, dark blue sans-serif font.

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CONSTRUCTION CLASSIFICATION (IBC TABLE 601)

CONSTRUCTION TYPE: IIIB (IBC 2018)
NON-SPRINKLED (NS); METAL STUD FRAMING; SLAB ON GRADE

ALLOWABLE AREA

AREA INCREASE (IBC 2018 506.3.3):	33,250 SF (B) 30,625 SF (S-1)
AREA PROVIDED:	20,000 SF TOTAL

<u>ALLOWABLE HEIGHT</u>	
HEIGHT ALLOWED:	3 STORIES
(IBC 504.3; 504.4)	55'-0" MAXIMUM BUILDING HEIGHT
HEIGHT PROVIDED:	2 STORY
	28'-10" MAXIMUM BUILDING HEIGHT

FIRE RESISTANCE RATINGS - TYPE IIIB (IBC TABLE 601)

<u>EGRESS REQUIREMENTS</u>	
MAXIMUM TRAVEL DISTANCE TO EXITS (NFPA SECT 38.2.6.2):	200'-0"
COMMON PATH OF EGRESS TRAVEL (NFPA SECT 38.2.5.3.3):	50'-0"
DEAD-END CORRIDOR (NFPA 101 SECT 38.2.5.2.2):	20'-0"
NUMBER OF EXITS (NFPA 101 SECT 7.4):	EXITS REQUIRED = 2 EXITS PROVIDED = 5
MINIMUM EXIT SEPARATION DISTANCE : (NFPA 101 7.5.1.3.2-3)	112'-0"
EGRESS WIDTH FACTOR (NFPA 101 TABLE 7.3.3.1): LEVEL COMPONENTS = .2" PER PERSON	EGRESS WIDTH REQUIRED = 10.8" (36" MIN.) EGRESS WIDTH PROVIDED = 36" MIN. FOR ALL DOORS & HALLWAYS
STAIRS = .3" PER PERSON	

BUILDING OCCUPANT SUMMARY (FOR LIFE SAFETY/EGR)

PLUMBING FIXTURE REQUIREMENTS (PER IBC 2902.1)

OCCUPANT LOAD = 54 PEOPLE	MEN (50%- 27)		WOMEN (50%- 27)		UNISEX		DRINKING FOUNTAIN	SE
	W/C	LAV.	W/C	LAV.	W/C	LAV.		
TOTAL REQUIRED	2	1	2	1	-	-	1	
PROVIDED	3	2	2	2	-	-	1	

OCB HEADQUARTERS

691 JIMMY DANIEL ROAD,
BOGART, GA 30622

Prepared for
**OCONEE
COMMERCIAL
BUILDERS**

COMMISSION NO:

SHEET TITLE:
TITLE SHEET AND PROJECT

SHEET NO:
T0.01
ISSUED FOR CONSTRUCTION

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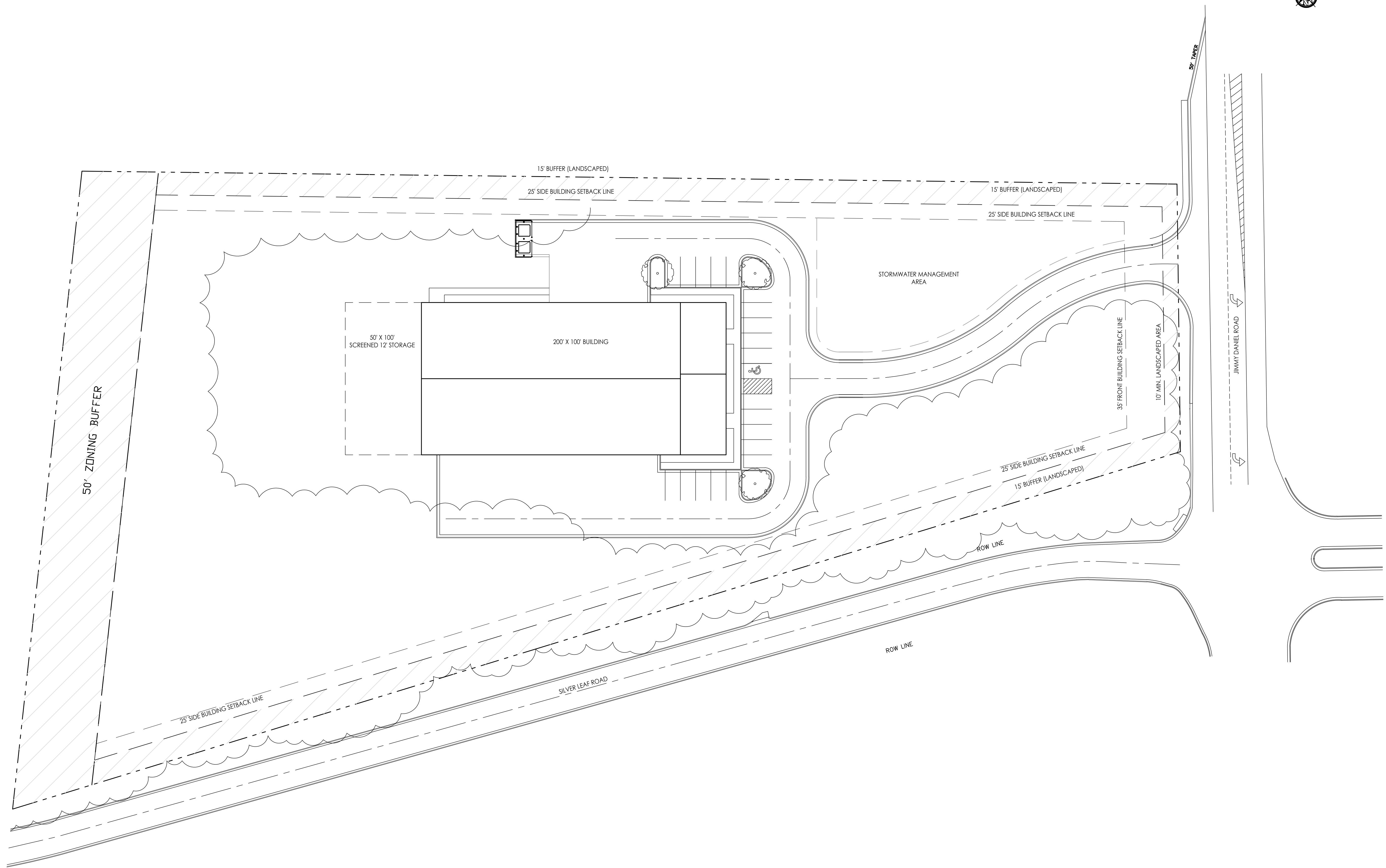
OCB HEADQUARTERS

1691 JIMMY DANIEL ROAD,
BOGART, GA 30622

Prepared for **OCONEE COMMERCIAL BUILDERS**

COMMISSION NO:
2572.00

A0.01



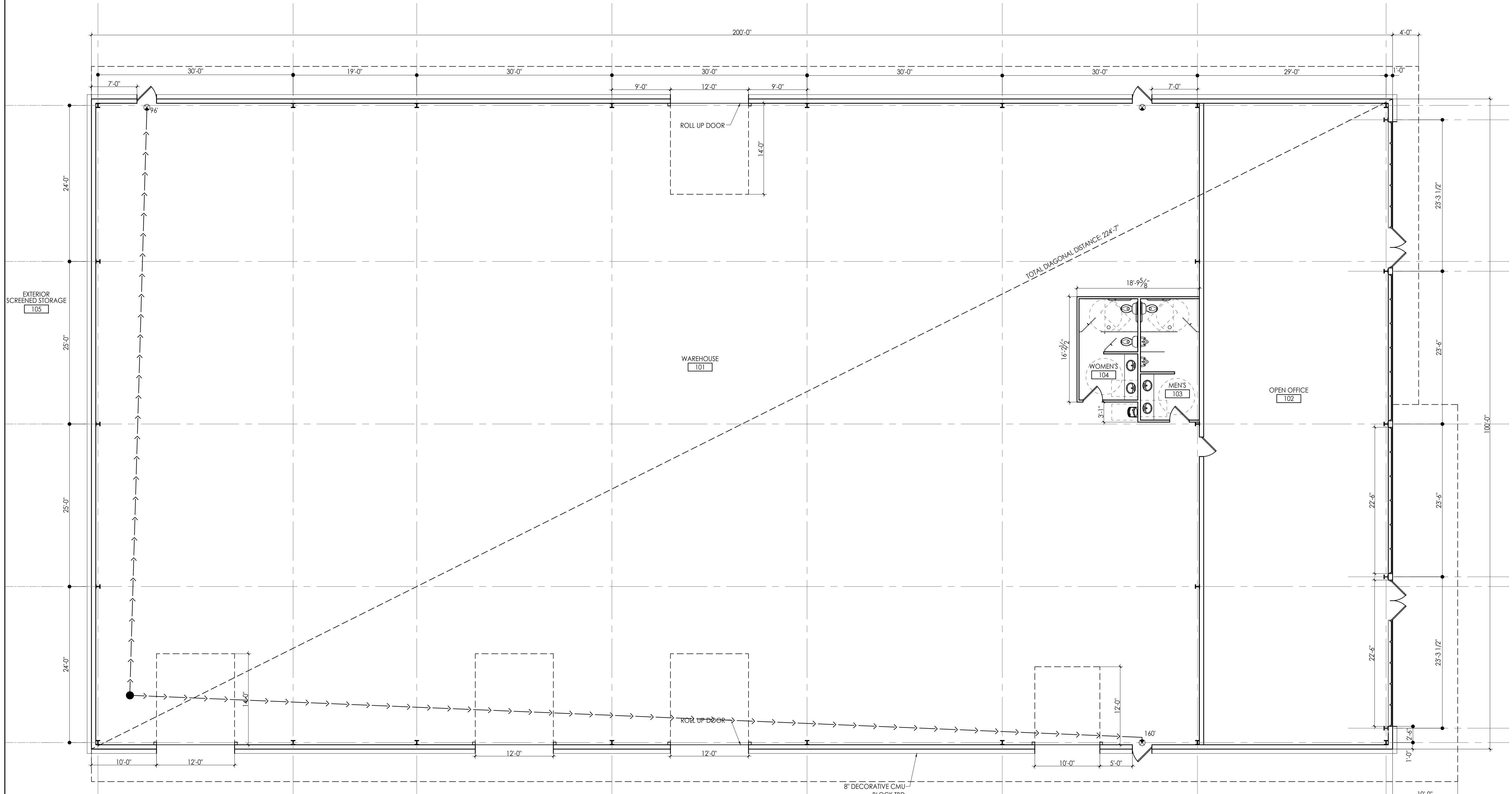
1 SITE PLAN

SCALE: 1/32"=1'-0"

	OCCUPANCY/CONSTRUCTION REQUIREMENTS			OCCUPANCY/CONSTRUCTION REQUIREMENTS			EGRESS REQUIREMENTS (NFPA)		LIFE SAFETY NOTES	
	IBC 2018 NFPA 101 2024	BUSINESS (B)	IBC 2018 NFPA 101 2024	STORAGE (S-1) STORAGE (ORDINARY HAZARD)	AREA ALLOWED (IBC 506.2) BUSINESS (B) PROVIDED: 3,000 SF ALLOWED: 19,000 SF	AREA ALLOWED (IBC 506.2) STORAGE (S1) PROVIDED: 17,000 SF ALLOWED: 17,500 SF	BUSINESS	STORAGE	BUSINESS	STORAGE
	CONSTRUCTION TYPE (IBC) IIIB NON SPRINKLED		CONSTRUCTION TYPE (IBC) IIIB NON-SPRINKLED		HEIGHT ALLOWED (IBC 503) (504.2) BUSINESS (B) PROVIDED: 1 STORY/ 28'-10" ALLOWED: 3 STORIES/55 FEET	HEIGHT ALLOWED (IBC 503) STORAGE (S2) PROVIDED: 1 STORY/ 24'-4" ALLOWED: 2 STORIES/55 FEET	EGRESS WIDTH FACTOR (7.3.3.1): LEVEL COMPONENTS = 0.2" PER PERSON EGRESS WIDTH REQUIRED: 10.6" (36" MIN)	EGRESS WIDTH FACTOR (7.3.3.1): LEVEL COMPONENTS = 0.2" PER PERSON EGRESS WIDTH REQUIRED: 10.6" (36" MIN)	EXITS REQUIRED: 2 (42.4.1) EXITS PROVIDED: 2	1. PROVIDE (1) FIRE EXTINGUISHER PER 300 SF OF OCCUPIED SPACE OR MAXIMUM 75'0" OF TRAVEL. REFER TO PLANS FOR LOCATIONS MARKED F.C. FINAL LOCATION TO BE VERIFIED BY LOCAL FIRE INSPECTOR.
	FIRE RATINGS		FIRE RATINGS		OCCUPANT LOAD FACTOR NFPA 101 2024: 7.3.1.2 OCCUPANT LOAD - 20	OCCUPANT LOAD FACTOR NFPA 101 2024: 7.3.1.2 OCCUPANT LOAD - 34	MIN EXIT SEPARATION DISTANCE: REQUIRED: 52' PROVIDED: 55'	MIN EXIT SEPARATION DISTANCE: REQUIRED: 52' PROVIDED: 55'	MIN EXIT SEPARATION DISTANCE: REQUIRED: 50'	2. REFER TO SPECIFICATIONS FOR DETAILED INFORMATION ON FIRE EXTINGUISHERS.
	STRUCTURAL FRAME: BEARING WALLS - EXTERIOR: BEARING WALLS - INTERIOR: FLOOR CONSTRUCTION: ROOF CONSTRUCTION:	0 HOURS 2 HOURS 0 HOURS 0 HOURS 0 HOURS	STRUCTURAL FRAME: BEARING WALLS - EXTERIOR: BEARING WALLS - INTERIOR: FLOOR CONSTRUCTION: ROOF CONSTRUCTION:	0 HOURS 2 HOURS 0 HOURS 0 HOURS 0 HOURS	OCCUPANT LOAD FACTOR NFPA 101 2024: 7.3.1.2 OCCUPANT LOAD - 20	OCCUPANT LOAD FACTOR NFPA 101 2024: 7.3.1.2 OCCUPANT LOAD - 34	TRAVEL DISTANCE: REQUIRED: 200' PROVIDED: 27'	TRAVEL DISTANCE: REQUIRED: 200' PROVIDED: 160'	MAXIMUM SQUARE FOOTAGE PER IBC 2018 506.2: 19,000 SF 17,500 SF	3. SEE MOUNTING HEIGHT STANDARDS FOR INSTALLATION H.T.
	OCCUPANCY SEPARATION (IBC 508.4) (NFPA 6.1.14.1)		OCCUPANCY SEPARATION (IBC 508.4) (NFPA 6.1.14.1)				COMMON PATH OF TRAVEL: REQUIRED: 75' PROVIDED: 0"	COMMON PATH OF TRAVEL: REQUIRED: 50' PROVIDED: 0"		4. EMERGENCY LIGHTING REQUIRED IN ALL RESTROOMS; ELECTRICAL PLANS FOR LOCATIONS
	BUSINESS (B)/STORAGE (S-1) NON-SPRINKLED NOT REQUIRED		BUSINESS (B)/STORAGE (S-1) NON-SPRINKLED NOT REQUIRED				DEAD-END CORRIDOR: REQUIRED: 20' PROVIDED: 0'	DEAD-END CORRIDOR: REQUIRED: 20' PROVIDED: 50'		LIFE SAFETY LEGEND
										→ → → EGRESS PATH
										F.C. FIRE EXTINGUISHER CAPTURE

KAOD
K A OLDHAM DESIGN, INC.
57 PERRY STREET
NEWNAN, GEORGIA 30263
TELEPHONE: (770) 683-9170
FAX: (770) 683-9171
E-MAIL: info@kaod.com
WEBSITE: www.kaod.com

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OCB HEADQUARTERS

1691 JIMMY DANIEL ROAD,
BOGART, GA 30622

Prepared for
**OCONEE
COMMERCIAL
BUILDERS**

COMMISSION NO:
2572-00

SHEET TITLE:

LIFE SAFETY PLAN

LSP.01

NOT ISSUED FOR CONSTRUCTION

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Prepared for **OCONEE COMMERCIAL BUILDERS**

COMMISSION NO:
2572 00

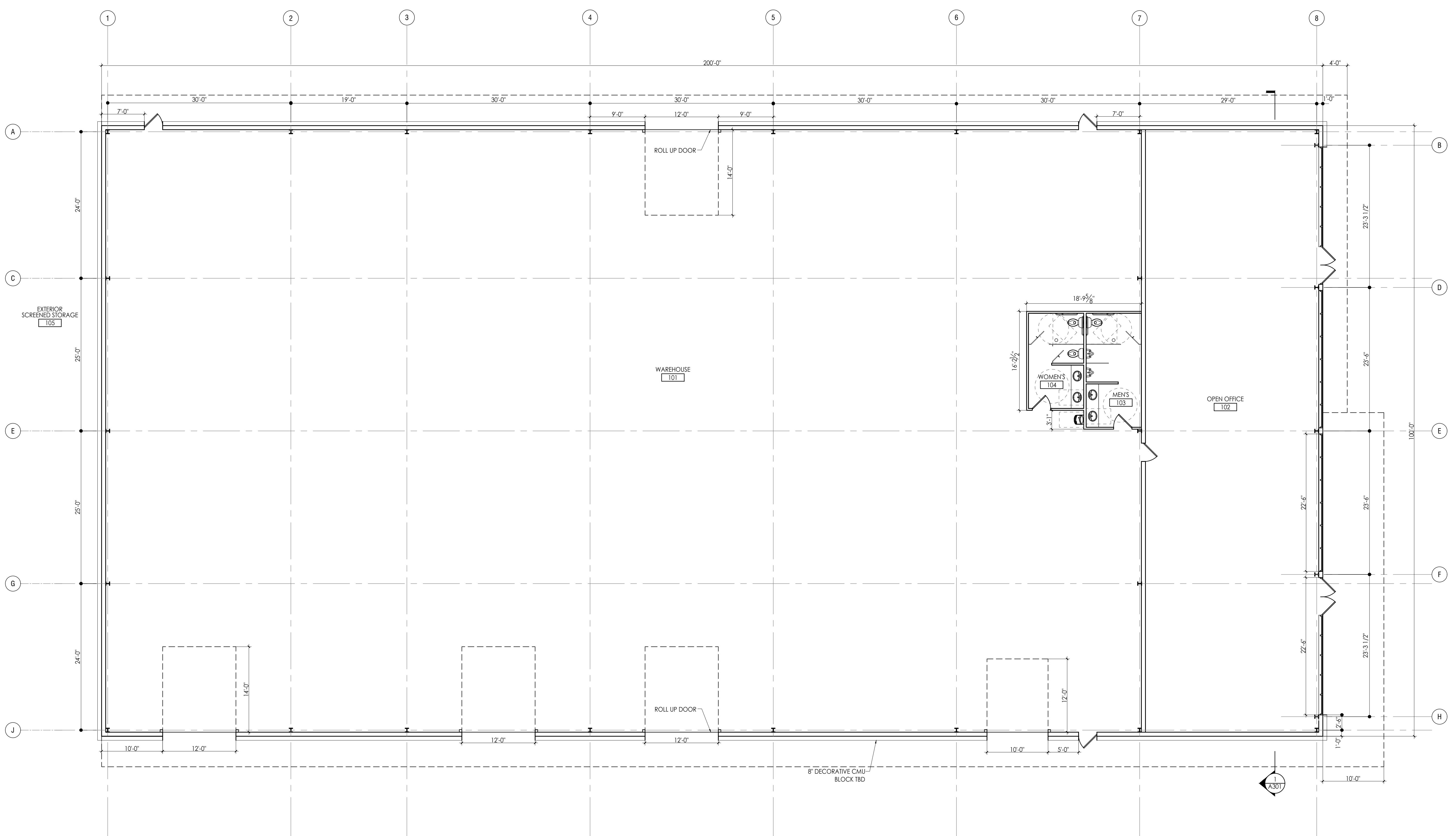
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FLOOR PLAN

SHEET NO: _____

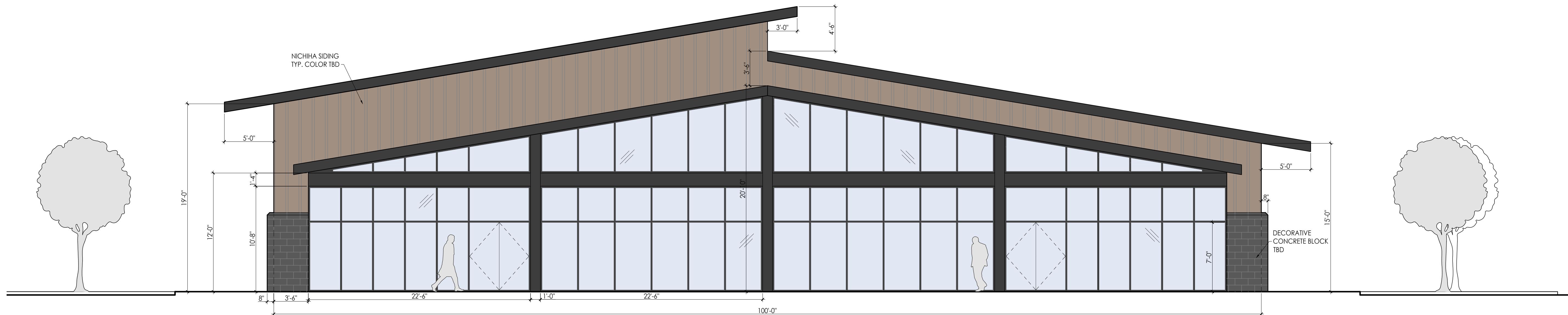
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NOT ISSUED FOR CONSTRUCTION



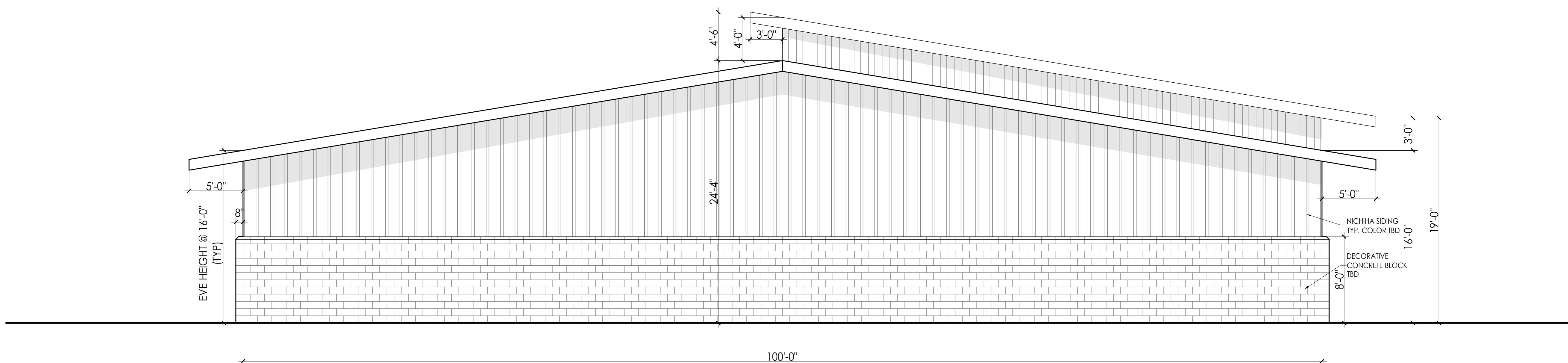
1 FLOOR PLAN

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FRONT ELEVATION

SCALE: 3/16"=1'-0"



<div[](./img/1_rear_elevation_label.png)

OCB HEADQUARTERS

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BOGART, GA 30622

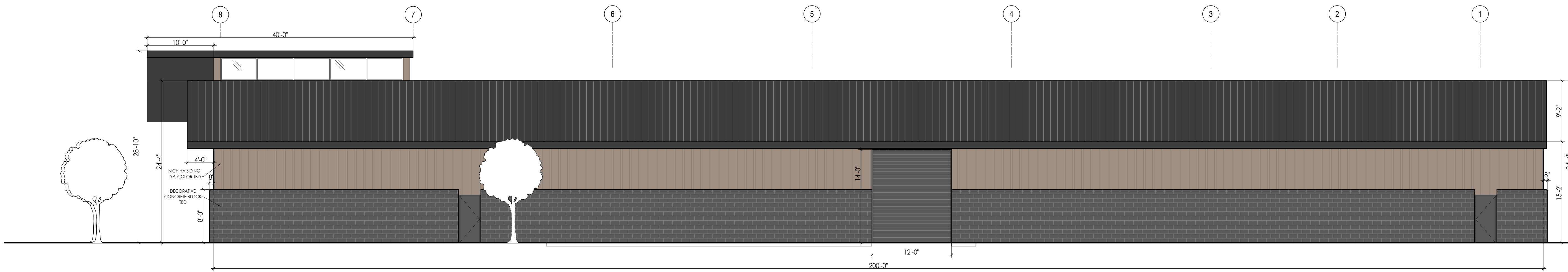
Prepared for **OCONEE COMMERCIAL BUILDERS**

COMMISSION NO:
2572.00

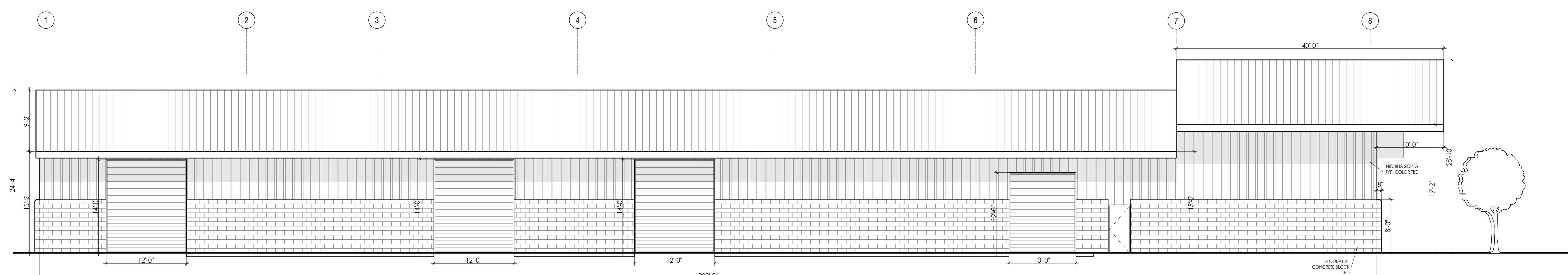
A2.01

NOT ISSUED FOR CONSTRUCTION

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2 SIDE ELEVATION



1 SIDE ELEVATION
SCALE: 1/8"=1'-0"

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COMMISSION NO:
2572 00

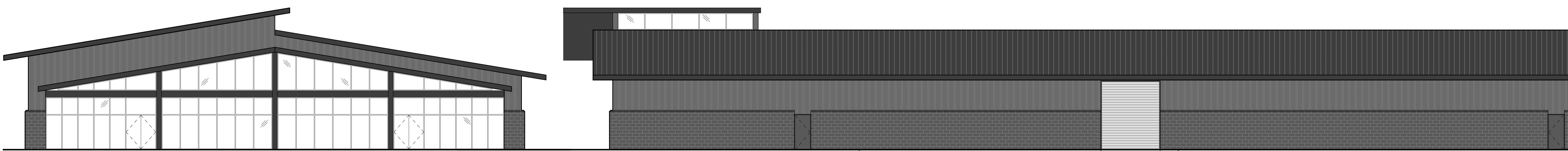
SHEET TITLE:

EXTERIOR ELEVATIONS

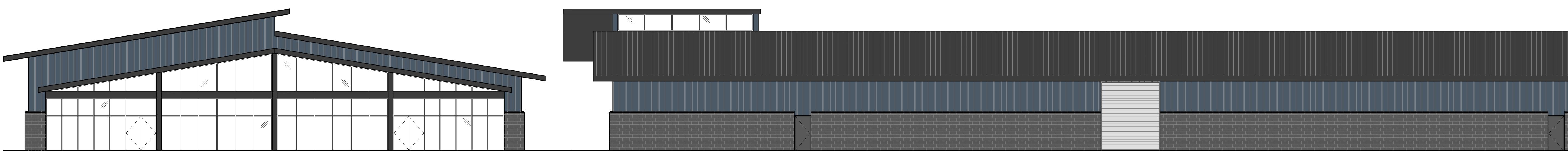
SHEET NO: _____

A2 02

A2.02



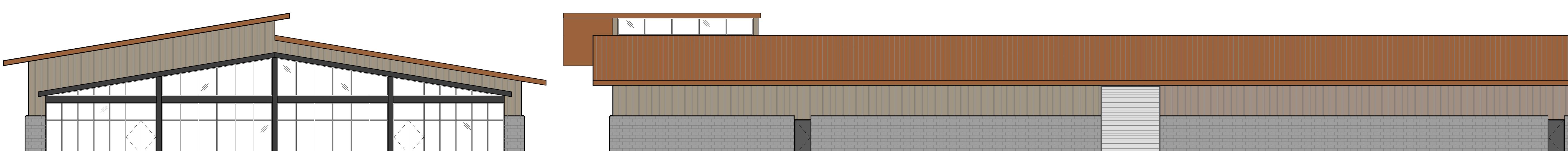
4 ALT. COLOR OPTION



3 ALT. COLOR OPTION



2 ALT. COLOR OPTION



1 ALT. COLOR OPTION

OCB HEADQUARTERS

1691 JIMMY DANIEL ROAD,
BOGART, GA 30622

Prepared for
**OCONEE
COMMERCIAL
BUILDERS**

COMMISSION NO:
2572.00

SHEET TITLE:

ALT. COLOR OPTIONS

A2.03

NOT ISSUED FOR CONSTRUCTION

The image features a large, bold, dark blue logo for "KAOD" at the top. Below the logo, the text "K A OLDHAM DESIGN, INC." is written in a smaller, dark blue, sans-serif font. Underneath this, there is contact information in a smaller, dark blue font: "7 PERRY STREET", "EWNAN, GEORGIA 30263", "ELEPHONE: (770) 683-9170", "AX: (770) 683-9171", "-MAIL: info@kaod.com", and "WEBSITE: www.kaod.com".

57 PERRY STREET
NEWNAN, GEORGIA 30263
TELEPHONE: (770) 683-9170
FAX: (770) 683-9171
E-MAIL: info@kaod.com
WEBSITE: www.kaod.com

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OCB HEADQUARTERS

1691 JIMMY DANIEL ROAD,
BOGART, GA 30622

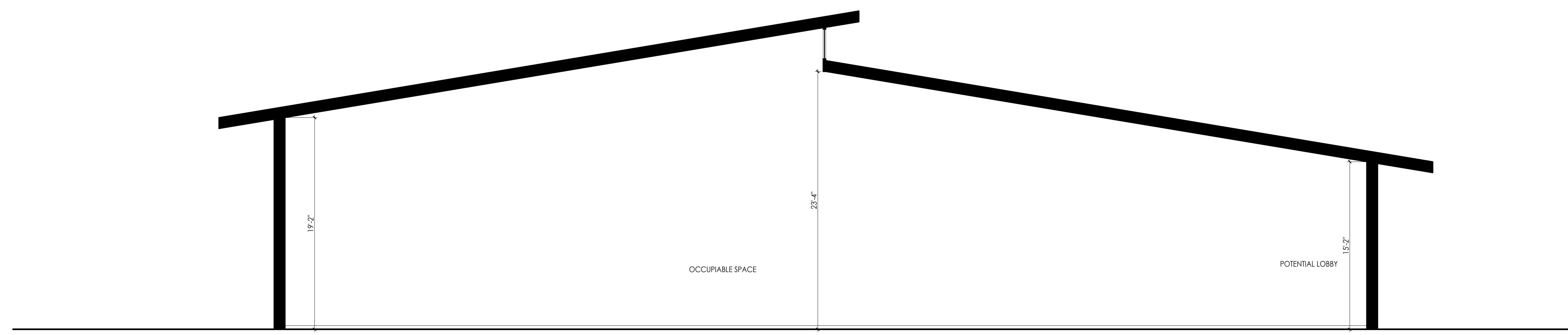
Prepared for **OCONEE COMMERCIAL BUILDERS**

COMMISSION NO:
2572.00

SHEET TITLE:
BUILDING SECTIONS

SHEET NO:
A3.01

NOT ISSUED FOR CONSTRUCTION



1 OFFICE SECTION



Oconee County Utility Department

Board of Commissioners

John Daniell, Chairman
Mark Thomas, Post 1
Chuck Horton, Post 2
Amery Harden, Post 3
Mark Saxon, Post 4

December 19, 2025

Beall and Company
Ken Beall, RLA
3651 Mars Hill Road, Suite 1400
Watkinsville, GA 30677

Re: 1691 Jimmy Daniell Road

Regarding ***potable water***, potable water is available for domestic and irrigation purposes. We note that an estimate of fire flow is not requested or provided. Our development files may contain nearby tests, if needed.

Regarding ***wastewater treatment capacity***, connection to the wastewater collection system is not available for the above referenced location.

Availability

- The availability of water and sewer **does not guarantee connection**.
- Unforeseen drought conditions or wastewater treatment capacity limitations may affect or delay the issuance of permits or connections to the water and sewer systems.
- Availability is also subject to obtaining a satisfactory technical review of the applicable water and/or sewer extension application package during the construction plan review.

This Water and Sewer Availability Letter expires 1 year from the date of issuance.

Costs and Fees

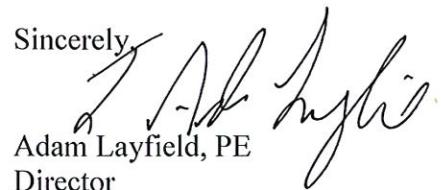
All costs associated with this project for connecting to the existing water distribution system or sewer collection system is the responsibility of the Developer / Owner. Costs may include the following:

- Additional fire hydrants as requested by Fire Department
- Relocation of buried infrastructure to avoid road widening (ingress / egress lanes)
- Offsite gravity sewer extensions
- Private screening facilities to prevent future sewer blockage
- Upgrades of transmission facilities such as pumping stations
- Contributions to operation and maintenance costs such as odor control facilities,
- Other improvements as identified in the current Water and Sewer Improvement Plan.

Payment of fees associated with a new connection must be received in compliance with the Water and Wastewater Systems Ordinance, as revised.

Please give us a call if further discussion or clarification is needed.

Sincerely,

A handwritten signature in black ink, appearing to read "Adam Layfield".

Adam Layfield, PE
Director

SPECIAL USE IMPACT ANALYSIS

SPECIAL USE IMPACT ANALYSIS

Standards for Special Use Consideration In AG Zone for Contractors Office/Showroom/Warehouse

a. Will the proposed special use be consistent with the stated purpose of the zoning district in which it will be located?

The UDC states that it is the intent of the AG (Agricultural District) to preserve prime agricultural areas. The subject 5-acre parcel is clearly not a prime agricultural area backing up to a residential subdivision and located across the street from a residential multi-family development. Rather than more residential development on Jimmy Daniell Road, the owners desire to construct their 20,000 SF construction contractors office / showroom / warehouse building (with limited screened outdoor storage) in the middle of the 5-acre parcel as a special use and a much lower impact use than either agricultural use or residential use. All access to the building will be a single private driveway from Jimmy Daniell Road.

b. Is the proposed special use compatible with the goals, objectives and intent of the comprehensive plan?

Yes.....The Future Land Use Map of the Comprehensive plan depict the subject property and all properties surrounding the subject property as REGIONAL CENTER character areas. The general characteristics of the Regional Center area is currently a "multi-use" area of distinct and separate uses. The area is characterized by regional-serving retail and commercial services, office complexes for medical and corporate offices, hotels, restaurants and entertainment facilities, etc.

c. Will the establishment of a special use impede the normal and orderly development of surrounding properties for uses predominate in the area?

The subject special use as designed will not impede the normal and orderly development of surrounding properties.

d. Is the location and character of the proposed special use consistent with a desirable pattern of development for the locality in general?

Yes....The special use as designed (20,000 SF on 5+acres) with landscaped buffers and access limited exclusively to Jimmie Daniel Road is a desirable pattern of development.

e. Is or will the street providing access to the use be adequate to serve the proposed special use?
Yes.....as mentioned above the site will be accessed with a single private driveway from Jimmy Daniell Road as a use that generates very little traffic.

f. Is or will access into and out of the property be adequate to provide for traffic and pedestrian safety, the additional volume of traffic flow, and access by emergency vehicles?
Yes.....The subject special use is a very low impact use.

g. Are or will the public facilities such as schools, water or sewer utilities, and police or fire protection be adequate to serve the special use?

Yes.....As mentioned above, the special use is a low impact use with little to no impact on the water or no sanitary sewer, no impact on schools other than to provide additional tax funding, and no impact on existing adjacent residential roads.

h. Are or will refuse, service, parking and loading areas on the property be located or screened to protect other properties in the area from such adverse effects as noise, light, glare or odor?

Yes.....A 50' zoning buffer is included on the SUP Concept Plan along the adjoining R1 zoned properties starting at the property line. There will be no glare because all lighting will be directed down and away from adjoining properties per the UDC. There will be nothing allowed on the property that could cause any odor.

i. Will the hours and manner of operation of the special use have any adverse effects on other properties in the area?

None. Once the building and parking are completed there will be no activity on the site basically from 5:30 PM to around 7:30 AM (and no activity on weekends)

j. Will the height, size or location of the buildings or other structures on the property be compatible with the height, size or location of buildings or other structures on neighboring properties?

The building and related access drive will be screened from view from the adjoining residential subdivision