



OCONEE COUNTY ZONING CHANGE APPLICATION

Requested Action:

- ☐ Rezoning from: NA to NA ☐ Change in Conditions of Approval for Case # : NA
- ☒ Special Use Approval for: Contractors Showroom Office Warehouse in the AG Zoning District

Applicant

Name: BEALL & COMPANY, LLC (Kenneth A. Beall, member)

Address: 3651 Mars Hill Road Suite 1400
(No P.O. Boxes)
Watkinsville, GA 30677

Telephone: 706.318.5048

Email: ken@beallandcompany.com

Applicant is (check one): ☐ the Property Owner ☒ Not the Property Owner (attach Property Owner's Authorization)

Applicant's Certification: I hereby certify that the information contained in and attached to this application is true and correct.

Signature: Kenneth A. Beall Date: 9/26/25 Notarized: _____

Property Owner

Name: Oconee Medical Properties, LLC

Address: 2901 Vintage Drive
(No P.O. Boxes)
Watkinsville, Ga 30677

706.202.4200

Telephone: Contact: Tim Burgess

email: ridgetim1@aol.com



Property

Location: 1691 Jimmy Daniel Road
(Physical Description)
Intersection of Silver Leaf Road & Jimmy Daniel Road

Tax Parcel Number: C 01 006A

Size (Acres): 5.014 Current Zoning: AG

Future Development Map—Character Area Designation: _____

Use

Current Use: undeveloped wooded tract

Proposed Use: Contractors showroom / office / storage
Owners plan to build office/showroom/storage
20,000 SF building in center of 5.014 acre tract
uses list.

Regional Center

Attachments (check all that apply)

- | | |
|---|---|
| <input checked="" type="checkbox"/> Property Owner's Authorization (if applicable) | <input checked="" type="checkbox"/> Narrative (Detailed Description of the Request) |
| <input checked="" type="checkbox"/> Application Fee | <input checked="" type="checkbox"/> Concept Plan |
| <input checked="" type="checkbox"/> Warranty Deed | <input checked="" type="checkbox"/> Attachments to the Concept Plan: |
| <input checked="" type="checkbox"/> Typed Legal Description | <input checked="" type="checkbox"/> Water and/or Sewer Capacity Letter from OCUD |
| <input checked="" type="checkbox"/> Plat of Survey | <input checked="" type="checkbox"/> Representative Architecture/Photographs |
| <input checked="" type="checkbox"/> Disclosures (Interest & Campaign Contributions) | <input checked="" type="checkbox"/> Proof all property taxes paid in full |
| <input checked="" type="checkbox"/> XXX Impact Analysis (SUP) | <input checked="" type="checkbox"/> Other Attachments: <u>see upload sheets</u> |

For Oconee County Staff Use Only

Application

Date Received: _____ Date Accepted: _____

DRI Transmitted to RDC ☐ Date: _____ ☐ N/A

Date Submitted: _____ ☐ Findings Complete

Posted: _____ Ad: _____ Ad: _____

Application Withdrawn ☐ Date: _____

Action

APPLICATION NUMBER

Planning Commission Date: _____

☐ Approval ☐ With Conditions ☐ Denial

Board of Commissioners Date: _____

☐ Approved ☐ With Conditions ☐ Denied

AFTER RECORDING RETURN TO:
FORTSON, BENTLEY & GRIFFIN, P.A.
2500 DANIELL'S BRIDGE ROAD
BUILDING 200, SUITE 3A
ATHENS, GA 30606

File No. 46890GMH

DDC# 003080
FILED IN OFFICE
6/27/2014 10:01 AM
BK:1246 PG:179-180
ANGELA ELDER-JOHNSON
CLERK OF SUPERIOR
COURT
OCONEE COUNTY

Angela Elder-Johnson

REAL ESTATE TRANSFER T
AX
PAID: \$340.40

Pl 61 108-2014-207

STATE OF GEORGIA
COUNTY OF OCONEE

LIMITED WARRANTY DEED

THIS INDENTURE, made and entered into this 27th day of June, in the year of our Lord Two Thousand Fourteen (2014) between

THE EDWARD D. SUMNER COMPANY, a Georgia corporation and JOE MILLIGAN
as Grantor, and

OCONEE MEDICAL PROPERTIES, LLC, a Georgia limited liability company
of the County of Madison, State of Georgia, as Grantee.

In this deed, wherever the context so requires, the masculine gender includes feminine and/or neuter and the singular number includes the plural. Wherever herein a verb, pronoun or other part of speech is used in the singular, and there be more than one Grantor or Grantee, said singular part of speech shall be deemed to read as the plural, and each Grantor shall always be jointly and severally liable for the performance of every promise and agreement made herein. Wherever herein Grantor or Grantee is used, the same shall be considered to mean as well, the heirs, executors, administrators, successors, representatives and assigns of the same.

WITNESSETH, that the said Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property, to wit:

ALL that tract or parcel of land, together with all improvements thereon, situate, lying and being in the 1331st District, G.M., Oconee County, Georgia, containing 5.014 acres, more or less, and being more particularly shown according to a plat of survey entitled "Survey for: Estate of Mary B. Epps" dated May 27, 2004, prepared by Ben McLeroy & Associates, Inc., Engineers & Surveyors, and being recorded in Plat Book 35, page 90, in the Office of the Clerk of the Superior Court of Oconee County, Georgia, reference being hereby made to said plat for a more complete description of the property herein conveyed.

The property is known as 1691 Jimmy Daniel Road according to the present system of numbering in Oconee County, Georgia.

The above described property is conveyed subject to all easements, rights of way, reservations, restrictions and all other matters of record.

TO HAVE AND TO HOLD the said described property, with all and singular, the rights, members and appurtenances thereunto appertaining, to the only proper use, benefit and behoof of the said Grantee, his heirs, executors, administrators, successors and assigns, forever, in FEE SIMPLE.

AND THE SAID GRANTOR will warrant and will forever defend the right and title to the above described property unto the said Grantee, his heirs, executors, administrators, successors and assigns, against all persons lawfully claiming through or under the undersigned.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand, affixed his seal, and delivered these presents the day and year first above written.

THE EDWARD D. SUMNER COMPANY, a
Georgia corporation

By: *E. Sumner, Jr.*
Edward D. Sumner, Jr.

As its: President

[Corporate Seal]

Signed, sealed and delivered in the
presence of:

Lisa Patterson Culbertson
Unofficial Witness

Notary Public



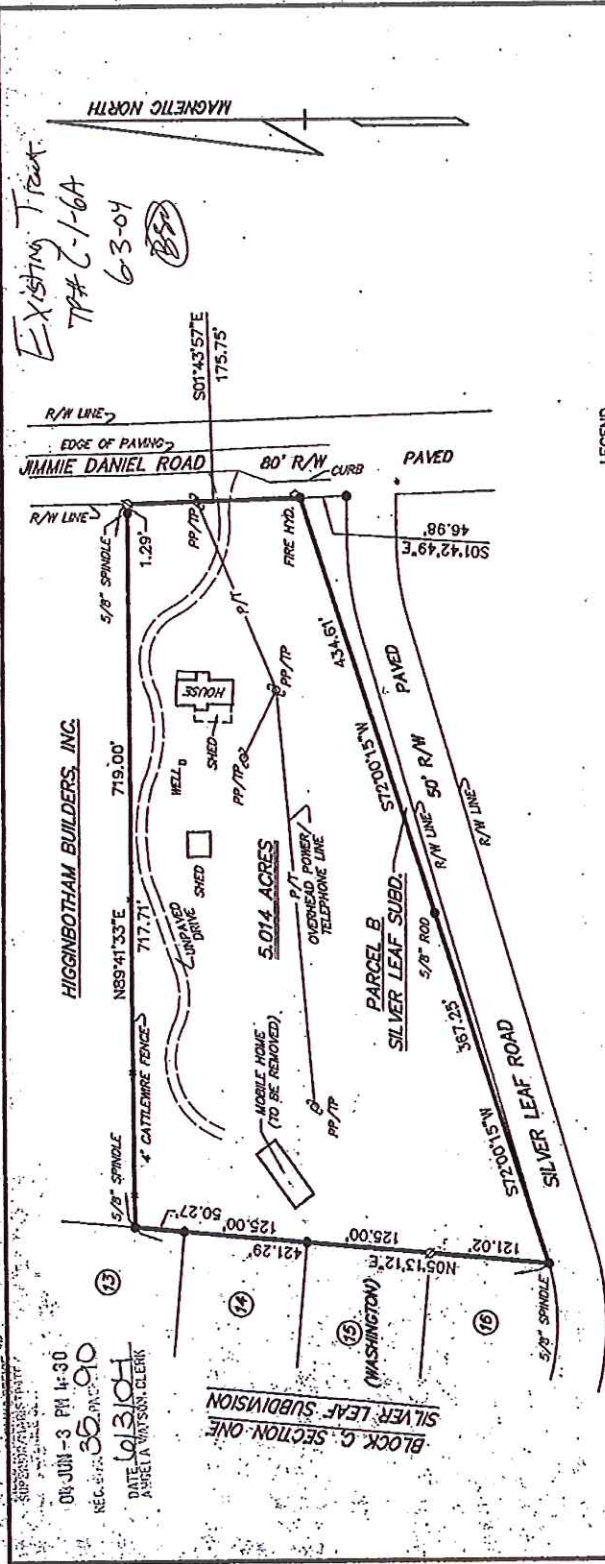
Joe Milligan (SEAL)
JOE MILLIGAN

Signed, sealed and delivered in the
presence of:

Lisa Patterson Culbertson
Unofficial Witness

Notary Public





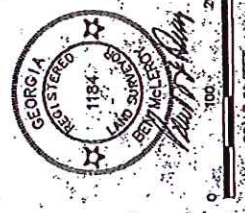
LEGEND
 ● - 1/2" REINFORCING ROD (OR NOTED) FOUND
 ○ - POINT ONLY
 --- POWER/TELEPHONE POLE

SURVEY FOR:

ESTATE OF MARY B. EPPS			
COUNTY:	OCONEE	Q.M.D.:	1331
DATE:	MAY 27, 2004	SCALE:	1"=100'
FIELDBOOK:	905	DRAWN BY:	MIKE
		SURVEYED BY:	BEN McLEOD & ASSOCIATES, INC.
		ENGINEERS & SURVEYORS	3993 ATLANTA, GA
		FILE NO.:	28182-

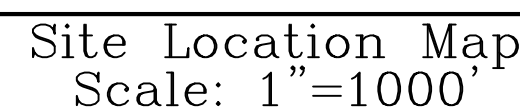
REFERENCES
 (1) OUR FINAL PLAT FOR SILVER LEAF SUBDIVISION
 DATED MAY 20, 1998.
 (2) OUR SURVEY FOR J. MICHAEL WHITE AS TRUSTEE
 DATED OCTOBER 11, 2000.

SURVEY NOTES
 (1) EQUIPMENT USED: 01" THEODOLITE AND E.D.M.
 (2) ANGULAR ERROR: 02" PER STATION, ADJUSTED.
 (3) LINEAR CLOSURE: 1/15,000+; BALANCED ARBITRARILY.
 (4) MINIMUM PLAT CLOSURE: 1/2,098,366.
 (5) THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD
 AREA ACCORDING TO FIRM PANEL NO. 130453 0010 B,
 DATED MAY 4, 1992.



RECEIVED
 OR JUN -3 PM 4:30
 REC-35
 DATE 6/3/04
 AURELIA WATSON, CLERK

BLOCK C, SECTION ONE
 SILVER LEAF SUBDIVISION
 (WASHINGTON)



The design professional whose seal appears herein certifies the following: (1) the Oconee County Generalized Wetlands Map has been consulted; (2) the appropriate plan sheet

indicate wetlands as shown on the map or as determined by a certified wetlands delineator; and (3) if wetlands are indicated the landowner or developer has been advised that land disturbance of protected wetlands shall not occur unless the appropriate Section 404 Permit or Letter of Permission has been obtained from the U.S. Corps of Engineers for jurisdictional wetlands, or approval has been obtained from Oconee County to disturb other (nonjurisdictional) wetlands.

Owner/Developer:	Oconee Medical Properties, LLC, 1272 Moons Grove Church Road Colbert, GA 30628
24 Hour Contact:	Tim Burgess (706) 202-4200
Authorized Agent:	Beall & Company 3651 Mars Hill Road, Suite 1400 Watkinsville, GA 30677 (706) 543-0907
Address:	1691 Jimmy Daniell Road
Tax Parcel #:	C01--006A
Total Project Acreage:	5.01 Acres
Existing Zoning:	AG (Agricultural)
Proposed Zoning:	AG SUP (Agricultural Special Use Permit)
Existing Use:	Undeveloped Parcel
Proposed Use:	Contractors Office/Showroom/Warehouse/ Corporate Headquarters with limited fenced outdoor storage
Building Setbacks:	Front: 40' Side: 25' Rear: 25'
Flood Plain:	This tract of land does not lie within the flood zone per FIRM Community Panel 13219C0065E Dated 09/15/2022
Environmental Areas:	State waters do not exist on the site or within 200 FT of the site.

LANDSCAPE STRIP & VUA SCREENING

15' LANDSCAPED BUFFER

50' LANDSCAPED ZONING BUFFER

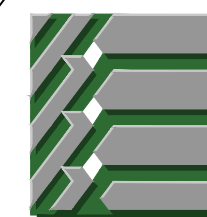
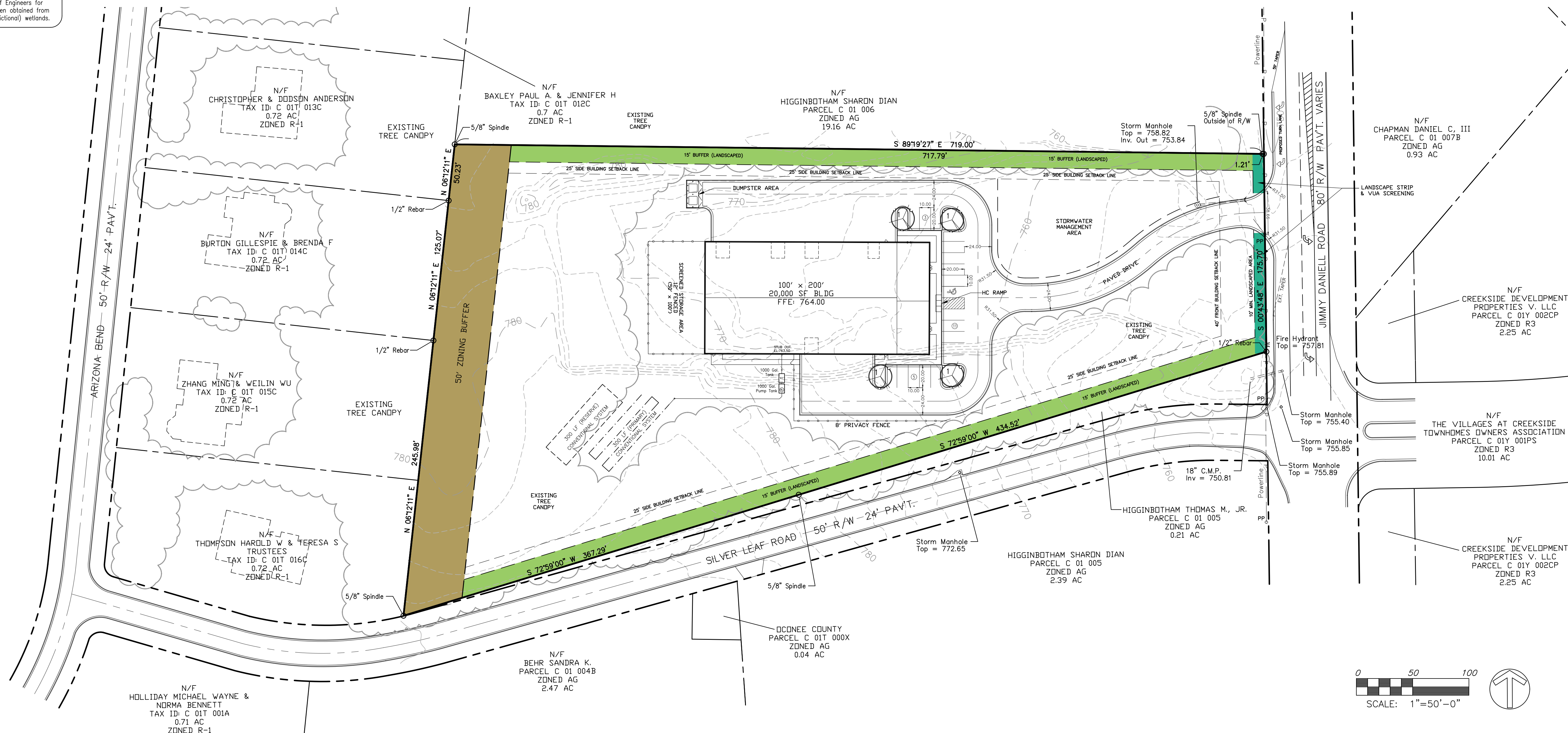
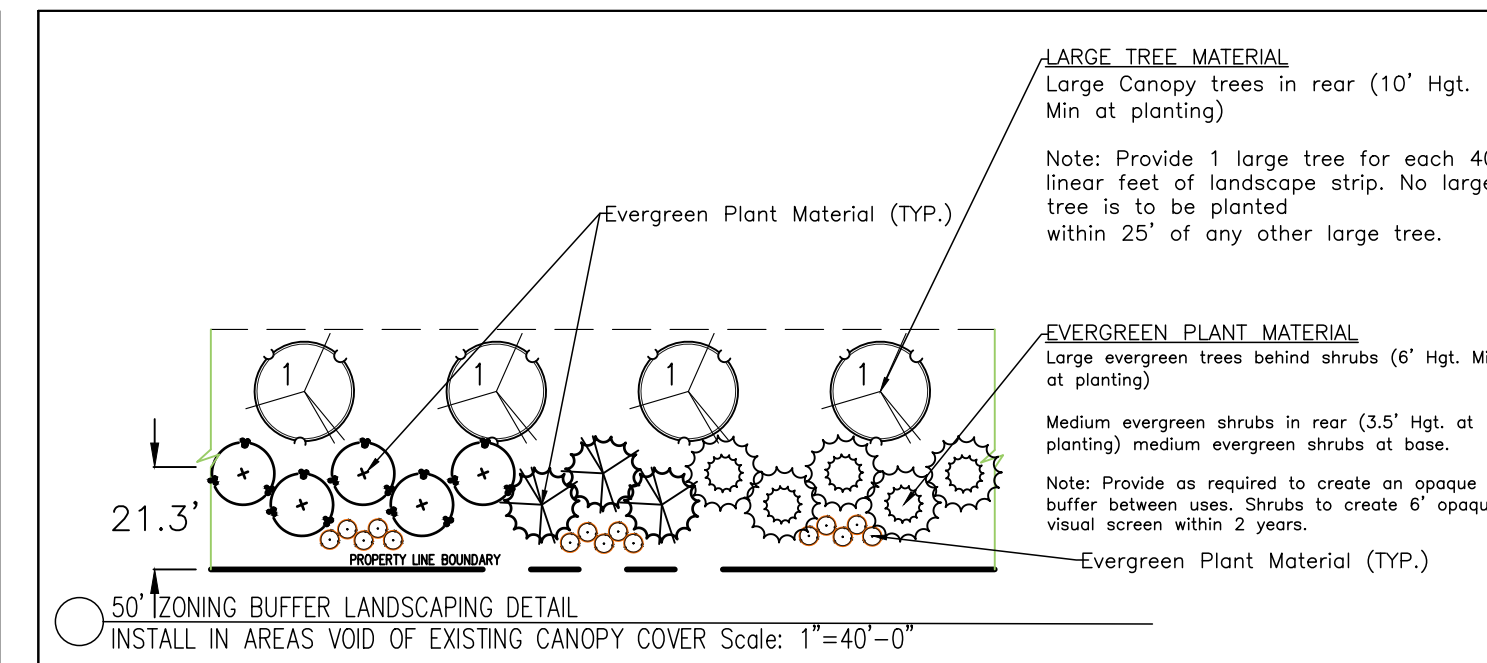
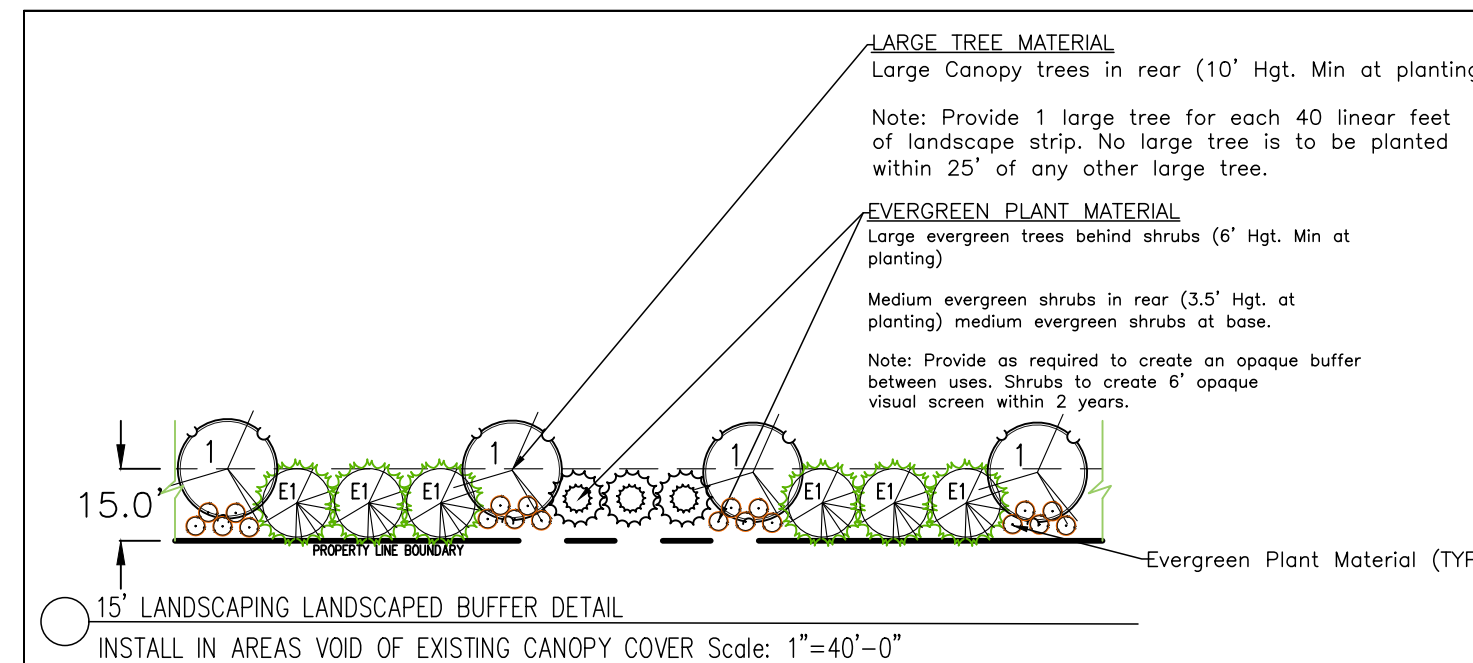
Landscape Strip:	10 FT Width, 142 FT Total Street Frontage Length
15' Landscaped Buffer:	15 FT Width, 1393 FT Total Lengths
50' Landscaped Buffer:	15 FT Width, 421 FT Total Length
Tree Requirements:	40 Required Landscape Strip Large Trees (1 Large Tree per 40 LF of Landscape Strip) $1,585 \text{ LF} / 40 = 40$

Water Supply:	Oconee County Water Resources Department
Sewage Disposal:	Oconee County Water Resources Department
Proposed Utilities:	Power, Water, Sanitary Sewer, Cable, Internet, Telephone (All proposed utilities are to be located) (within utility easements)
Solid Waste:	By Private Contract Service
Surface Drainage:	Storm water will be directed via curb and gutter to a storm sewer system and a stormwater management facility.
Parking:	Warehouse 17,000 SF 0.5 Per 1,000 square feet of gross floor area (0.5 * 17 = 9 Spaces) Office/Showroom 3,000 SF 3.0 Per 1,000 square feet of gross floor area (3.0 * 3 = 9 Spaces)
Actual Parking:	18 Standard 1 Handicap

- 1) Storm Water Management shall be in accordance with Oconee County, state and other appropriate ordinances and regulations in effect at time of construction plan approval.
- 2) Sign locations and/or permits are not included with these documents. Applications for sign permits are to be submitted separately to the Oconee Code Enforcement Department.
- 3) Tree save areas are not illustrated on this rezone concept plan. Tree save areas will be determined by the limits of disturbance on construction plans to be reviewed by Oconee County Development Review Committee.
- 4) See Narrative for proposed Development Schedule.
- 5) No Roads are proposed on these plans.
- 6) All utilities are approximately located.

TOTAL TRACT ACRES =	5.01	TOTAL TRACT SF:	218366
LAND USE	AREA (AC)	AREA (SF)	% OF TOTAL
ALLOWED LOT COVERAGE	5.01	218366	100%
STRUCTURES	0.459	20000	9.16%
DRIVES/PARKING	0.664	28936	13.25%
SIDEWALK	0.034	1472	0.67%
WALLS	0.000	0	0.00%
EXISTING ROAD PAVEMENT TO BE REMOVED	0.000	0	0.00%
Reserved	0.000	0	0.00%
Off-Site Paving (Not Applied to Total)	0.000	0	NA
TOTAL INCREASE IN IMPERVIOUS COVER	1.16	50408	23.08%
TOTAL PREVIOUS COVER:	3.86	167958	76.92%

BUFFER NOTE: BUFFERS ARE TO BE SUPPLEMENTAL IN NATURE TO RETAIN EXISTING TREES AS NECESSARY FOR SUSTAINABILITY AND FUNCTION.



BEALL
& COMPANY

LAND PLANNING
LANDSCAPE ARCHITECTURE
SITE ENGINEERING

3651 MARS HILL ROAD
SUITE 1400
WATKINSVILLE, GA 30677
(706) 543-0907
www.beallandcompany.com

A-C SPECIAL USE PERMIT FOR
OCONEE COMMERCIAL DESIGN-BUILD
OFFICE / SHOWROOM / WAREHOUSE / CORPORATE HQ
5.01 ACRES
TAX ID: C01-006A
1691 JIMMY DANIELL ROAD
BOGAR T, GA 30622

OWNER(S)/PERMITTEE

OCONEE MEDICAL
PROPERTIES LLC
1277 MOONS GROVE
CHURCH ROAD
COLBERT, GA 30628

24 HOUR CONTACT:

TIM BURGESS
706-202-4200
Ridgetim1@aol.com



GSWCC LEVEL II
CERTIFICATION #025972

[illegible]

DRAWN BY: KGB
DESIGNED BY: KGB
CHECKED BY: KAB

A-G SPECIAL USE
PERMIT
CONCEPT PLAN

SHEET

SU-1

DATE: 10/10/2025
JOB: 24-008

NOT RELEASED FOR CONSTRUCTION

PROPERTY OWNER'S
DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
APPLICATION FOR REZONING

Pursuant to section 36-67A-1 et seq. of the Georgia Code Annotated, adopted by the Georgia General Assembly, effective July 1, 1986, the following disclosure is mandatory. When any applicant for rezoning action has made, within two years immediately preceding the filing of that applicant's application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official, it shall be the duty of the applicant and the agent representing the applicant to file a disclosure report with the governing authority of the respective local government.

Any applicant for rezoning action knowingly failing to make any disclosure as required by Code Section 36-67 A-1 et seq. shall be guilty of a misdemeanor.

- A. Name of local government official to whom the campaign contribution or gift was made (or N/A if not applicable):

X

None

- B. The dollar amount of each campaign contribution made by the applicant to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution (or N/A if not applicable):

Amount: X \$0.00

Date of contribution: X NA

- C. Enumeration and description of each gift having a value of \$250.00 or more made by the applicant to the local government official during the two years immediately preceding the filing of this application for rezoning (or N/A if not applicable).

X

\$0.00

Signature of owner: X Tim Burgess
Tim Burgess, Oconee Medical Properties LLC

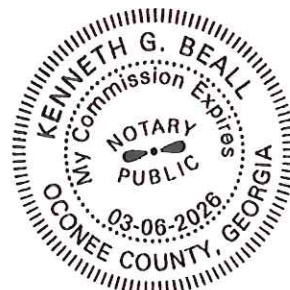
Date: X 9/26/25

Signature of applicant: X Kenneth A. Beall
Kenneth A. Beall, Beall & Company LLC

Date: X 9/26/25

Signature of Notary Public: X Kenneth G. Beall
Kenneth Grey Beall

Date: X 9/26/25



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Amount: X \$0.00

Date of contribution: X NA

- C. Enumeration and description of each gift having a value of \$250.00 or more made by the applicant to the local government official during the two years immediately preceding the filing of this application for rezoning (or N/A if not applicable).

X \$0.00

Signature of owner: X [Signature]
Gavin Griffith, Oconee Medical Properties LLC

Date: X 9/26/25

Signature of applicant: X Kenneth A. Beall
Kenneth A. Beall, Beall & Company LLC

Date: X 9/26/25

Signature of Notary Public: X Kenneth G. Beall
Kenneth Grey Beall

Date: X 9/26/25



DISCLOSURE OF INTEREST
APPLICATION FOR REZONING
OCONEE COUNTY, GEORGIA

To the best of my knowledge, no local government official, including members of the Planning Commission and members of the Board of the Commissions, has a property interest in any real property affected by a rezoning action or has a financial interest in any business entity which has a property interest, or has a member of his/her family having such an interest.

Signature of owner

x

Gavin Griffeth

Date

x

9/26/2025

Signature of Applicant

Kenneth A. Beall

Kenneth A. Beall

Date

x

9/26/2025

Signature of Notary Public

x

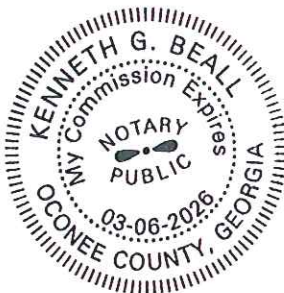
Kenneth G. Beall

Kenneth Grey Beall

Date

x

9/26/2025



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APPLICATION FOR REZONING
OCONEE COUNTY, GEORGIA

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Signature of owner

x

Tim Burgess

Date

x

9/26/2025

Signature of Applicant

Kenneth A. Beall

Kenneth A. Beall

Date

x

9/26/2025

Signature of Notary Public

x

Kenneth G. Beall

Kenneth Grey Beall

Date

x

9/26/2025



LEGAL DESCRIPTION
5.014 Acre Tract

All that tract or parcel of land, lying and being in G.M.D 1331, Oconee County, Georgia, as described on the Survey For: ESTATE OF MARY B. EPPS, dated May 27, 2004, surveyed by BEN McLEROY & ASSOCIATES, and more particularly described as follows:

Commencing at an iron pin denoting a northern right-of-way pin of Silver Leaf Road at its intersection with the west right-of-way of Jimmie Daniel Road;

Thence, North 1 degrees 42 minutes 49 seconds West, a distance of 46.98 feet to an iron pin at the western right-of-way of Jimmie Daniel Road, said point being the **True POINT OF BEGINNING**;

Thence, South 72 degrees 00 minutes 15 seconds West, a distance of 434.61 feet to a 5/8" rod,

Thence, South 72 degrees 00 minutes 15 seconds West, a distance of 367.25 feet to a 5/8" spindle at a property corner,

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 121.02 feet to a point,

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 125.00 feet to a 1/2" iron pin;

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 125.00 feet to a 1/2" iron pin;

Thence, North 05 degrees 13 minutes 12 seconds East, a distance of 50.27 feet to a 5/8" spindle at a property corner;

Thence, North 89 degrees 41 minutes 33 seconds East, a distance of 719.00 feet to a 5/8" spindle;

Thence, North 89 degrees 41 minutes 33 seconds East, a distance of 1.29 feet to a point on the right-of-way line of Jimmie Daniel Road;

Thence, South 01 degrees 43 minutes 57 seconds East, a distance of 175.75 feet to an Iron pin at the right-of-way of Jimmie Daniel Road, said point being the **POINT OF BEGINNING**.

Narrative Description of the Request

Special Use Permit to Build Construction Contractors Office/Showroom/Warehouse Building on AG Acreage

Parcel Owned By: OCONEE MEDICAL PROPERTIES LLC (AKA Tim Burgess and Gavin Griffith)

Parcel Acreage: 5.041 Acre; Parcel C 01 006A

- 1691 Jimmy Daniell Road
Oconee County Georgia

Narrative Introduction

The subject AG zoned parcel formerly owned by *THE EDWARD D. SUMNER COMPANY AND JOE MILLIGAN* was sold and conveyed to OCONEE MEDICAL PROPERTIES LLC on June 27, 2014.

OCONEE MEDICAL PROPERTIES LLC has held the property for the past 10+ years and now desires to construct their corporate headquarters building on the subject 5.041 acre parcel in this northern portion of Oconee County in close proximity to the University Parkway/SR Hwy 316.

Beall & Company has been engaged by the property owners to act as agent in the preparation of the necessary rezone documentation associated with the rezone and special use request.

The Site

The subject property fronts on the Jimmy Daniell Road which provides direct access to the Atlanta Highway and western Athens-Clarke County to the north, and provides direct access to the University Parkway/SR Hwy 316 to the south.

The parcel is predominantly wooded land with a gentle slope from the rear property line abutting *Silverleaf Subdivision* draining diagonally toward the northeastern property corner fronting on Jimmy Daniell Road.

The property frontage on *Jimmy Daniell Road* right-of-way is 175.75 LF; the subject property also partially abuts a portion of *Silver Leaf Road*; the rear portion of the subject parcel abuts four R1 zoned lots in *Silver Leaf Subdivision* for a distance of 421.29 LF; the northern boundary of the subject parcel abuts 19.16 acre AG zoned property owned by Sharon Dian Higginbotham (C 01 006) which extends to *McNutt Creek* (Athens-Clarke County line).

The 2.39 acre AG zoned parcel (C 01 005) fronting on *Jimmy Daniel Road* located across *Silver Leaf Road* is also owned by Sharon Dian Higginbotham; the 2.47 acre AG parcel (C 01 004B) also located across Silver Leaf Road is owned by Sandra K. Behr; the 0.92 acre AG zoned parcel (C 01 007B) located across Jimmy Daniell Road owned by Daniel C Chapman III is a residential cabin which backs up to a small pond.

All of the above mentioned properties to the north, south, east, and west of the subject property is all labeled as *REGIONAL CENTER* character area on the Future Land Use Map of Oconee County.

The Special Use Permit Plan

The Special Use Permit Plan depicts the location on the 20,000 SF construction contractor's office/showroom/warehouse building and related parking areas, driveway access to the facilities, stormwater management location, required parking, sidewalks, proposed buffers, tree canopy to remain, security lighting, existing topography, boundary lines, and related items as follows:

Access, Driveway, and Road Improvements

A new access driveway is to be constructed from Jimmy Daniell Road to provide access to the front and both sides of the building as shown. All construction will be funded by the developer. Driveway and utility extensions will be made as necessary to serve the project and to comply with Oconee County, state, and federal regulations as applicable.

Sidewalks and handicap ramps for barrier free access will be installed as required. All utilities will be underground. Extensive landscaping including street trees will be installed throughout the development. The project infrastructure will be developed in one phase over a 6 to 10-month period. Build-out of all of the proposed building is anticipated to last around 12 months.

Buildings

Plans for the 20,000 square foot building have already been prepared and submitted along with other required documents to accompany the SUP submittal. The interior space will be divided into approximately 3,000 square feet of office/showroom space and approximately 17,000 square feet of warehouse space.

See attached building plans prepared by K.A. OLDHAM DESIGN INC., Newnan GA. The building exteriors materials will be as labeled on the building construction plans. Building heights, ridge heights, and roof pitches will be as labeled on the Building Construction Plans.

Maximum Building Hgt. Proposed: 28'-10"
Front Elevation Percentage of Glass: 25.56% (545 SF of 2,132 total front facade SF)

Water Supply

A county water mainline exists within the right-of-way on the west side of Jimmy Daniell Road. A fire hydrant exists at the southeast property corner on the Jimmy Daniell Road right-of-way. A water service line will be extended from the existing watermain to a meterbox to be set at the property line. New water mains will be extended if required for fire protection from the existing water mainline. Water capacity for the development has been requested via letter submitted to the Oconee Water Resources Department.

The Average Daily Flow = $20,000 \text{ SF} \times 5 \text{ gpd}/100 \text{ SF} = 1,000 \text{ gpd} = 41.67 \text{ gph} = 0.69 \text{ gpm}$

Sewage Disposal

Gravity sanitary sewer lines do not exist in the Jimmy Daniell Road right-of-way near the project. Given the low flow gpd, gph, and gpm, the owners of the property are of the opinion that a commercial septic system as approved by the Oconee Environmental Health Department will be adequate to serve the project.

Surface Water Drainage

Concrete curb & gutter, county approved pipe, grassed and natural waterways, and sheet flow will be employed to collect and divert storm-water to proposed detention/retention areas, infiltration, and water-quality basins. Post development run-off will be maintained at predevelopment rates for 2, 5, 10, 25, and 50 year events. Proposed storm-water management structures will be designed to achieve the required capacity and volume based on hydrological analysis to be performed and submitted with site improvement construction plans, and in accordance with provisions of the *Unified Development Code of Oconee County*.
(NOTE: Portions of storm water management in its final form may be addressed in vegetative areas of the project, as well as in the primary stormwater management facility as shown near the front of the property on the rezone concept plan.)

Traffic Impact

Scenario #1: Trip Generation Land Use Code: (714) Corporate Headquarters (realistic assessment)

Number of Buildings Proposed:	1	
Total Square Footage of Buildings:	20,000 SF	(3000 SF Office / 17,000 SF Warehouse)
Total Employee Allowance (assumed):	10	
Average Trip Ends/Employee	2.27	x 10 employees = 23 total ADT
AM Peak Hour Trips/employee weekday:	0.44	x 10 employees = 5 total AM Peak Hour
PM Peak Hour Trips/employee weekday:	0.38	x 10 employees = 4 total PM Peak Hour

Worst Case Scenario is 10 employees all arrive at the same peak AM Peak hour = 10 trips

Worst Case Scenario is 10 employees all depart at the same peak PM Peak hour = 10 trips

Scenario #2: Trip Generation Land Use Code: (180) Special Trade Contractor (academic assessment)

(per assessment by Mr. Michael Greenlee, Traffic Engineer, Travis Pruitt & Associates, Inc. 12/17/2005 see attachment)

Number of Buildings Proposed:	1	
Total Square Footage of Buildings:	20,000 SF	(3000 SF Office / 17,000 SF Warehouse)
Average Daily Trips:	196	
AM Peak Hour Trips:	33	
PM Peak Hour Trips:	39	

Schedule

The petitioners plan to complete the special use permit efforts on the subject property by mid February/March 2026. Construction of the project infrastructure and building will commence immediately upon approval of the construction plans. The development should be completed within 12 months of construction plans permitting.

Maintenance of Common Areas

There will be no common areas. The property owners are responsible for all maintenance of the property.

Buffers

Street trees and parking lot buffers will be installed in the development. A 50' vegetative buffer is proposed along the rear boundary of the property adjacent to the R1 zoned Silver Leaf subdivision lots.

Utilities

All utilities are proposed to be underground. Any overhead services that currently exist will be rerouted within the appropriate utility corridor acceptable to Oconee County and the affected utility company.

Proposed utilities are power, water, telephone, gas, fiber optic, cable TV, & internet access.

Garbage/Solid Waste Collection

Solid waste collection will be handled by private contract service.

Public & Semi-public Areas

Waterline easements, drainage easements, access easements, and/or road easement/rights-of-way will be established as needed. Easements for power, telephone, cable TV, and gas will be dedicated as required for specific utility construction and/or maintenance.

Outdoor Lighting

Any light fixtures on metal or fiberglass poles will be "full cut-off and will be installed to illuminate the development for safety and security. These light standards will be oriented inward and down and away from adjoining residential uses.

Project Valuation

Based on a building square footage build-out of 20,000 SF also inclusive of all site development costs such as land, paved parking, utilities, storm drainage, commercial septic system, landscaping, and permitting, then the total value of the project at build-out will be approximately \$2,100,000.00.

Impact on the School System

This projected value above will positively enhance Oconee County's tax base and help ease the strain that other types of necessary development can place on social services and on the Oconee County's school system.

The proposed plan will have a positive impact on the tax base and the school system since the project will generate no additional students; there will also be favorable initial and ongoing ripple economic impacts on the county and on the school system as a result of the requested special use and commercial development of the property

Based on \$9,494.00 per million in value the annual taxes to be generated upon completion of the Special Use Permit approved project will amount to $(\$2,100,000.00 \times \$9,494/\$1,000,000) = \$19,937.00$ in county plus school taxes.

OWNER AUTHORIZATION FORMS



OCONEE COUNTY PROPERTY OWNER AUTHORIZATION
FOR APPLICATIONS

I swear that I am the owner of the property located at (Address or Physical Description):

1691 Jimmy Daniel Road

(5.014 acres)

Tax Parcel #: C 01 006A

Which is the subject matter of the attached application, as shown in the records of Oconee County, Georgia.

Oconee Medical Properties, LLC

I authorize the person identified below to act as applicant or agent in the pursuit of the requested action or consideration of this property.

Name of applicant or agent: Beall & Company, LLC (Kenneth A. Beall Member)

Address (No P.O. boxes): 3651 Mars Hill Road - Suite 1400 (The Summit Office Park)

City, State, & Zip Code: Watkinsville, GA 30677

Telephone Number: 706.543.0907 706.318.5048

SIGNATURE OF OWNER OR MANAGING MEMBER: X

Tim Burgess

NAME OF OWNER OR MANAGING MEMBER (PLEASE PRINT): Oconee Medical Properties, LLC

OFFICER POSITION OR MEMBER TITLE, IF APPLICABLE: co-owner

DATE: X 9/26/2025

NOTARIZATION:

SWORN TO AND SUBSCRIBED BEFORE THIS 26 DAY OF September, 20 25

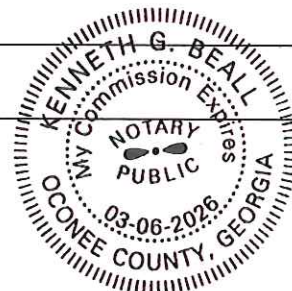
NOTARY SIGNATURE:

Kenneth G. Beall

DATE:

9/26/25

SEAL:





OCONEE COUNTY PROPERTY OWNER AUTHORIZATION FOR APPLICATIONS

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Telephone Number: 706.543.0907 706.318.5048

SIGNATURE OF OWNER OR MANAGING MEMBER: ☒

Gavin Griffeth

NAME OF OWNER OR MANAGING MEMBER (PLEASE PRINT): Oconee Medical Properties, LLC

OFFICER POSITION OR MEMBER TITLE, IF APPLICABLE: co-owner

DATE: ☒ 9/26/2025

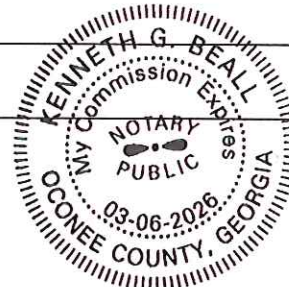
NOTARIZATION:

SWORN TO AND SUBSCRIBED BEFORE THIS 26 DAY OF September, 20 25

NOTARY SIGNATURE: Kenneth A. Beall

DATE: 9/26/25

SEAL:



Official Tax Receipt
Jennifer Riddle
Oconee County Tax Commissioner
7635 Macon Highway
Suite 300
Watkinsville, GA 30677

Trans # Year Bill #	Property Description	Original Due	Interest & Penalty	Prev Paid	Amount Due	AMOUNT PAID	TOTAL BALANCE
OCONEE MEDICAL PROPERTIES LLC.							
1272 MOONS GROVE CHURCH ROAD							
COLBERT, GA 30628							
					0		
18959 2025-14518	C 01 006A/01 1246/179 806/768-769 35/90 ; JIMMY DANIEL JIMMY DANIELL	2,703.61	47.32	0.00	2,750.93	2750.93	0.00
Register: 8 CHECK #7996				Paid by: OCONEE MEDICAL PROPERTIES LLC.		Thursday, December 18, 2025 11:01:43 AM	

1691 JIMMY DANIEL ROAD
BOGART, GA 30622

OWNER	CIVIL	ARCHITECT	STRUCTURAL	MECHANICAL/PLUMBING	ELECTRICAL
OCONEE COMMERCIAL BUILDERS 1181 LANGFORD DRIVE WATKINSVILLE, GA 30677 PHONE: CONTACT:	T.B.D.	K.A. OLDHAM DESIGN, INC. 57 PERRY STREET NEWNAN, GA 30263 PHONE: 770.683.9170 FAX: 770.683.9171	T.B.D.	T.B.D.	T.B.D.

DRAWING INDEX

SHEET #SHEET NAME07 XX-25

TITLE
TO.01TITLE SHEET AND PROJECT INFORMATION●
A0.01SITE PLAN●

ARCHITECTURAL
LSP.01LIFE SAFETY PLAN●
A1.01FLOOR PLAN●
A2.01EXTERIOR ELEVATIONS●
A2.02EXTERIOR ELEVATIONS●
A2.03ALT. COLOR OPTIONS●
A3.01BUILDING SECTIONS●

BUILDING DEPARTMENT
CITY OF _ BUILDING DEPARTMENT
ADDRESS
CITY, GA ZIP CODE
PHONE NUMBER

APPLICABLE CODES AND REGULATIONS

BUILDING2018 INTERNATIONAL BUILDING CODE W/ GA AMENDMENTS
MECHANICAL2018 INTERNATIONAL MECHANICAL CODE W/ GA AMENDMENTS
PLUMBING2018 INTERNATIONAL PLUMBING CODE W/ GA AMENDMENTS
ELECTRICAL2023 NATIONAL ELECTRICAL CODE W/ GA AMENDMENTS
FIRE2018 INTERNATIONAL FIRE CODE W/ GA AMENDMENTS
GAS2018 INTERNATIONAL FUEL GAS CODE W/ GA AMENDMENTS
ENERGY2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ GA AMENDMENTS

2024 NFPA 101: LIFE SAFETY CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
ANSI 117.1 AMERICANS WITH DISABILITIES ACT

ZONING CLASSIFICATION
-

OCCUPANCY CLASSIFICATION

OCCUPANCY GROUP(S);IBC 2018BUSINESS / STORAGE
NFPA 101 2024NEW BUSINESS / STORAGE

OCCUPANT LOAD FACTOR (NFPA 101 2018: 7.3.1.2)

[S1] 17,000 / 500 SF PER PERSON = 34 OCCUPANTS
[B] 3,000 / 150 SF PER PERSON = 20 OCCUPANTS

OCCUPANCY SEPARATION (IBC 508.4)
BUSINESS AND STORAGE I: NOT REQUIRED

CONSTRUCTION CLASSIFICATION (IBC TABLE 601)

CONSTRUCTION TYPE;IIIB (IBC 2018)
NON-SPRINKLED (NS); METAL STUD FRAMING; SLAB ON GRADE

ALLOWABLE AREA

AREA ALLOWED [IBC 2018 TABLE 506.2];19,000 SF [B]
17,500 SF [S-1]

AREA INCREASE [IBC 2018 506.3.3];33,250 SF [B]
30,625 SF [S-1]

AREA PROVIDED:20,000 SF TOTAL

ALLOWABLE HEIGHT

HEIGHT ALLOWED:3 STORIES
[IBC 504.3; 504.4]55'-0" MAXIMUM BUILDING HEIGHT
HEIGHT PROVIDED:2 STORY
28'-10" MAXIMUM BUILDING HEIGHT

FIRE RESISTANCE RATINGS - TYPE IIIB (IBC TABLE 601)

STRUCTURAL FRAME:0 HOURS
BEARING WALLS - EXTERIOR:2 HOURS
BEARING WALLS - INTERIOR:0 HOURS
FLOOR CONSTRUCTION:0 HOURS
ROOF CONSTRUCTION:0 HOURS

EGRESS REQUIREMENTS

MAXIMUM TRAVEL DISTANCE TO EXIT'S [NFPA SECT 38.2.6.2]:200'-0"
COMMON PATH OF EGRESS TRAVEL [NFPA SECT 38.2.5.3.3]:50'-0"
DEAD-END CORRIDOR [NFPA 101 SECT 38.2.5.2.2]:20'-0"
NUMBER OF EXIT'S [NFPA 101 SECT 7.4]:EXIT'S REQUIRED = 2
EXIT'S PROVIDED = 5

MINIMUM EXIT SEPARATION DISTANCE :112'-0"
[NFPA 101 7.5.1.3.2-3]

EGRESS WIDTH FACTOR (NFPA 101 TABLE 7.3.3.1):
LEVEL COMPONENTS = .2' PER PERSON
EGRESS WIDTH REQUIRED = 10.8" (36" MIN.)
EGRESS WIDTH PROVIDED = 36" MIN. FOR ALL DOORS & HALLWAYS

STAIRS = .3' PER PERSON
EGRESS WIDTH REQUIRED = 14.2" (36" MIN.)
EGRESS WIDTH PROVIDED = 0" MIN.

BUILDING OCCUPANT SUMMARY (FOR LIFE SAFETY/EGRESS)

PLUMBING FIXTURE REQUIRMENTS (PER IBC 2902.1)

OCCUPANT LOAD = 54 PEOPLEMEN (50%- 27%)WOMEN (50%- 27%)UNISEXDRINKING FOUNTAINSERVICE SINK
WC LAV.W/C L.V.C WC L.A.V.

TOTAL REQUIRED2121--11
PROVIDED3222--12
TOTAL3222--11

2018 IPC SECTION 424.2 - SUBSTITUTION FOR WATER CLOSETS: URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 50% OF THE REQUIRED WATER CLOSETS IN ALL OTHER OCCUPANCIES.
*PER 2018 IPC SECTION 410 (GA AMENDMENTS 2020) - DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 25 OR FEWER
*PER 2018 IBC 2902.2 SEPARATE FACILITIES EXCEPTION: SEPARATE FACILITIES SHALL NOT BE REQUIRED FOR BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 25 OR FEWER; SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR FEWER.

[illegible]

[illegible]

OCB
HEADQUARTERS

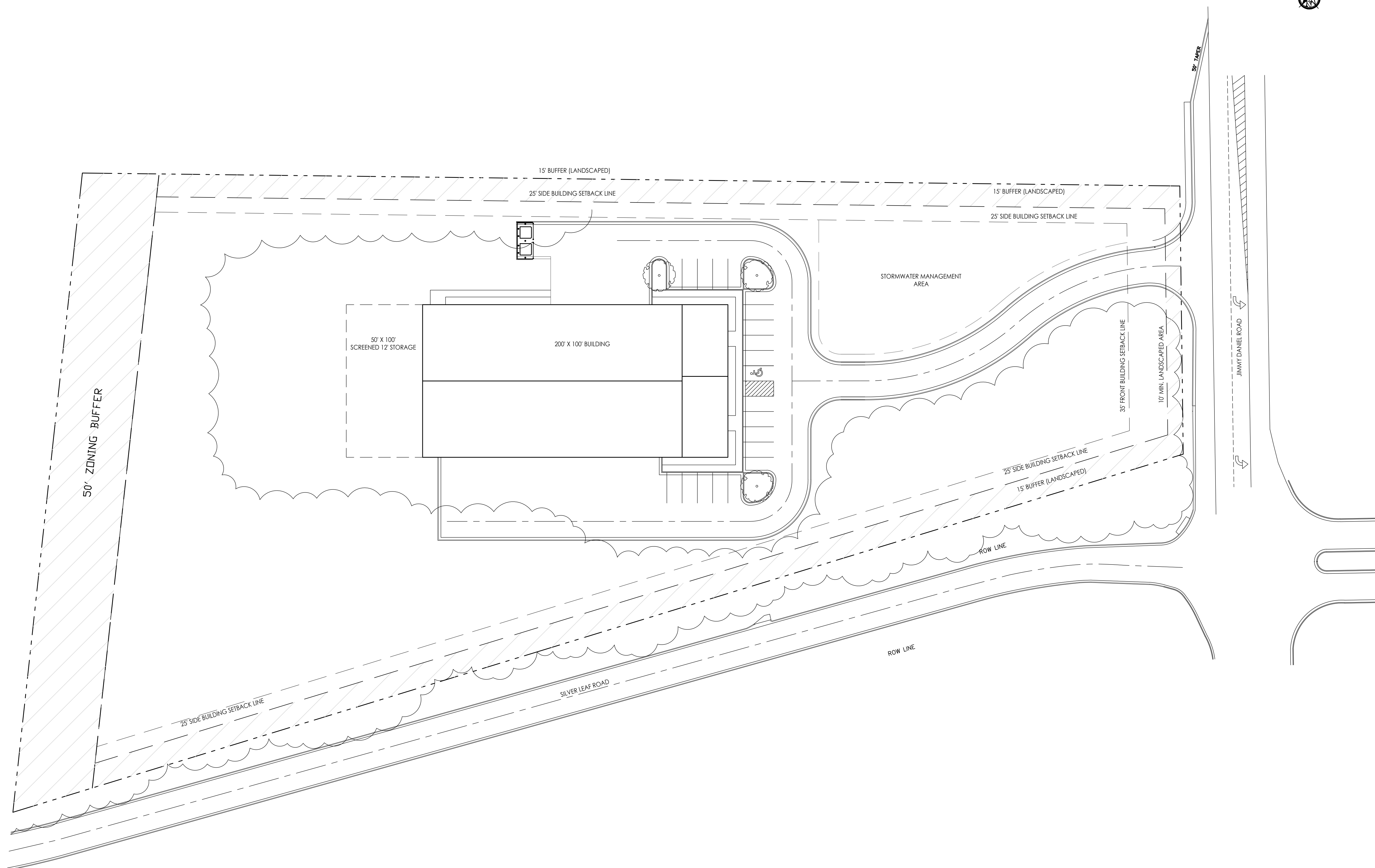
Prepared for
**OCONEE
COMMERCIAL
BUILDERS**

2572.00

SITE PLAN

Address

A0.01
NOT ISSUED FOR CONSTRUCTION



1 SITE PLAN
SCALE: 1/32"=1'-0"



57 PERRY STREET
NEWNAN, GEORGIA 30263
TELEPHONE: (770) 683-9170
FAX: (770) 683-9171
E-MAIL: info@kaod.com
WEBSITE: www.kaod.com

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SCALE: 1/8"=1'-0"

1691 JIMMY DANILEL ROAD,
BOGART, GA 30622

COMMISSION NO:

2572.00

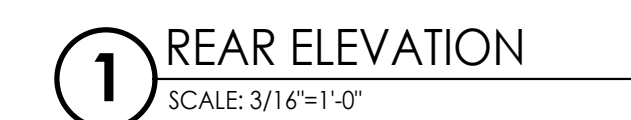
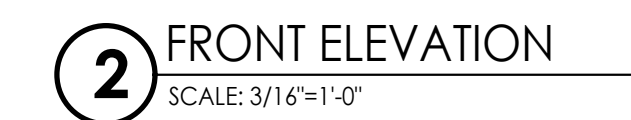
SHEET TITLE

FLOOR PLAN

SHEET NO:

A1.01

NOT ISSUED FOR CONSTRUCTION



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BOGART, GA 30622

COMMISSION NO:

2572.00

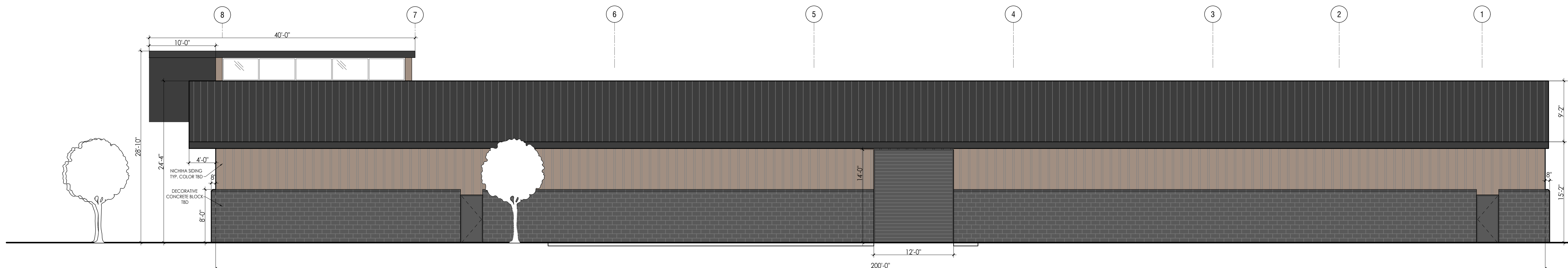
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FRONT EXTERIOR ELEVATIONS

SHEET NO:

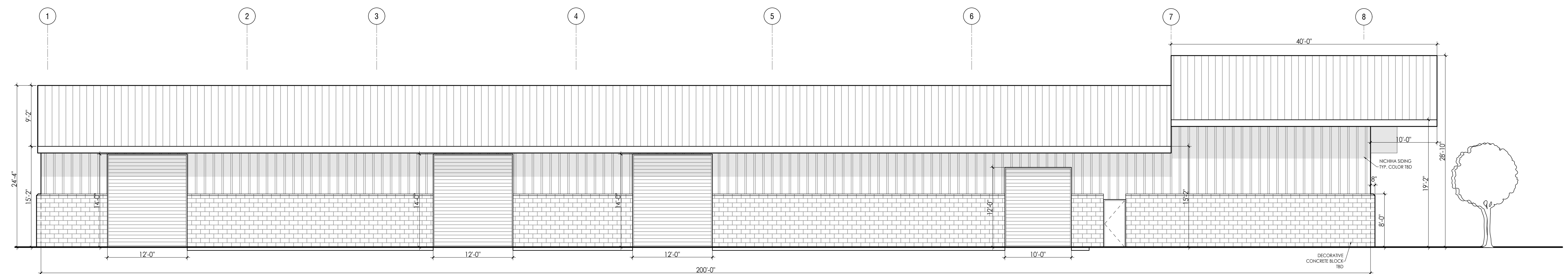
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NOT ISSUED FOR CONSTRUCTION

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2 SIDE ELEVATION
SCALE: 1/8"=1'-0"



① SIDE ELEVATION
SCALE: 1/8"=1'-0"

OCB
HEADQUARTERS

1691 JIMMY DANILEL ROAD,
BOGART, GA 30622

Prepared for
**OCONEE
COMMERCIAL
BUILDERS**

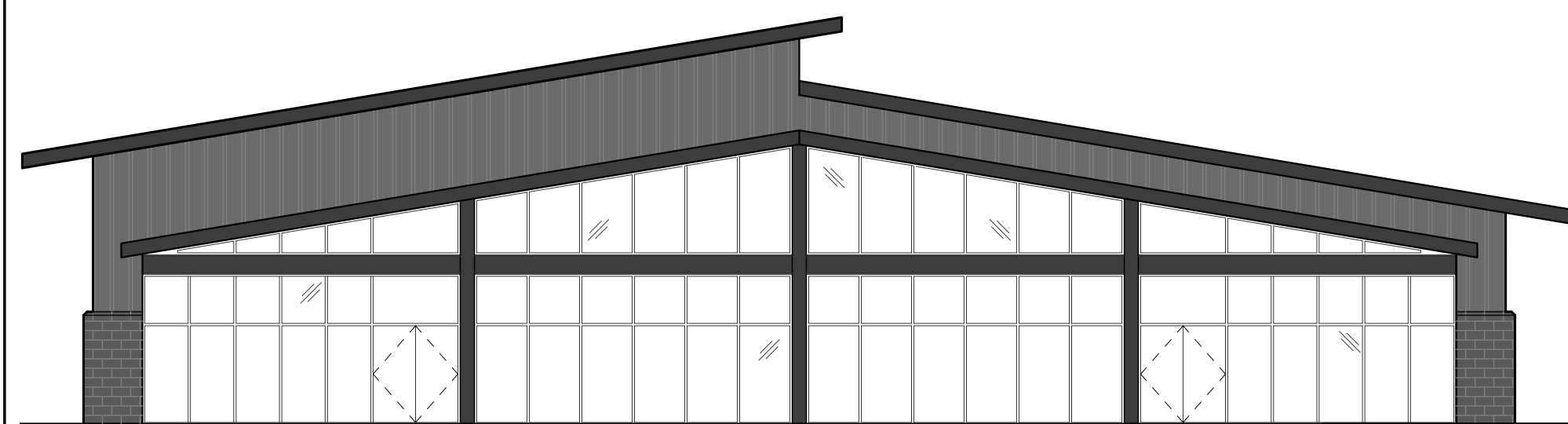
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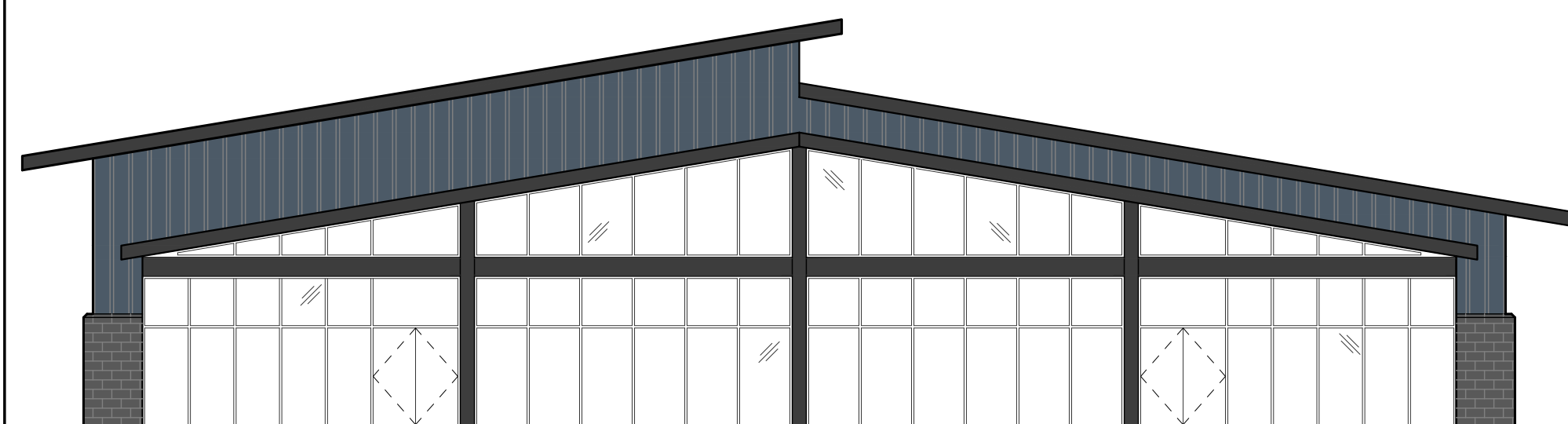
EXTERIOR ELEVATIONS

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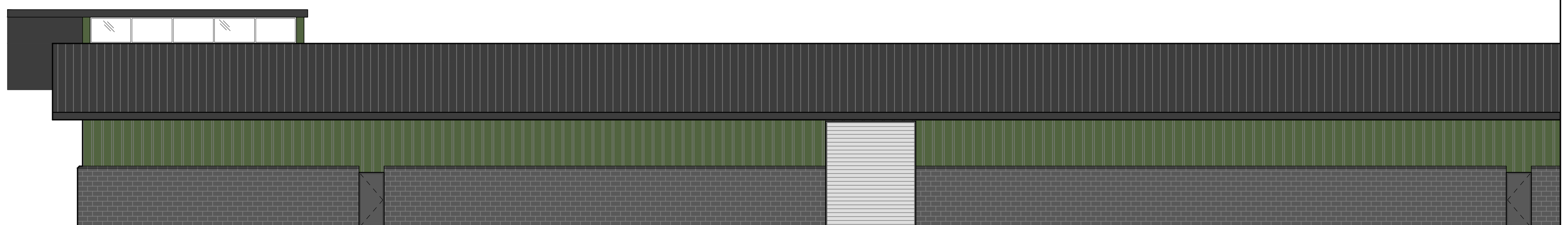
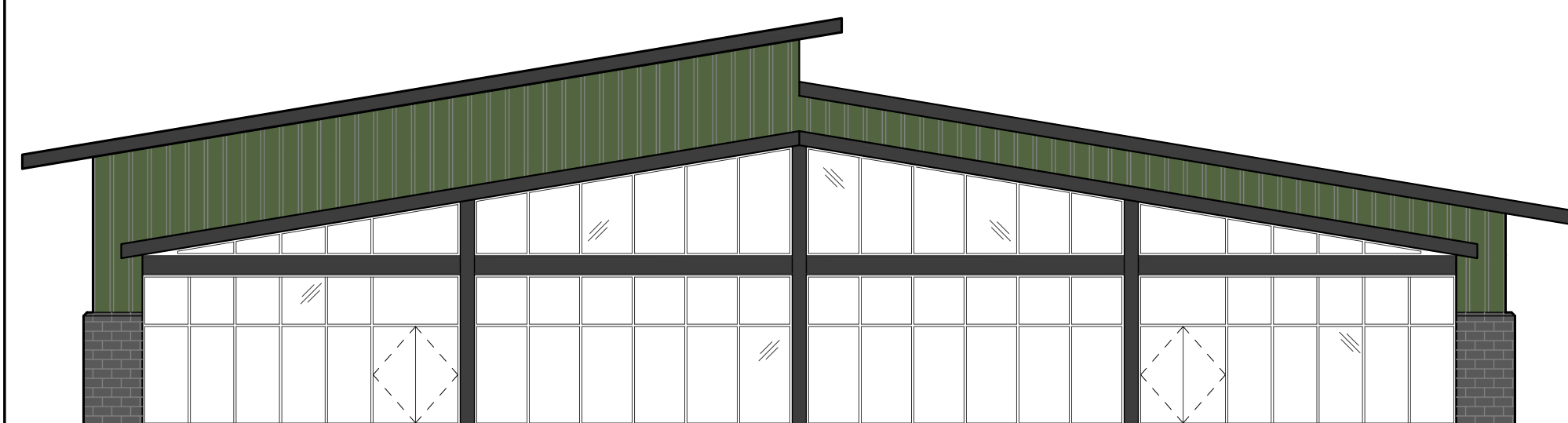
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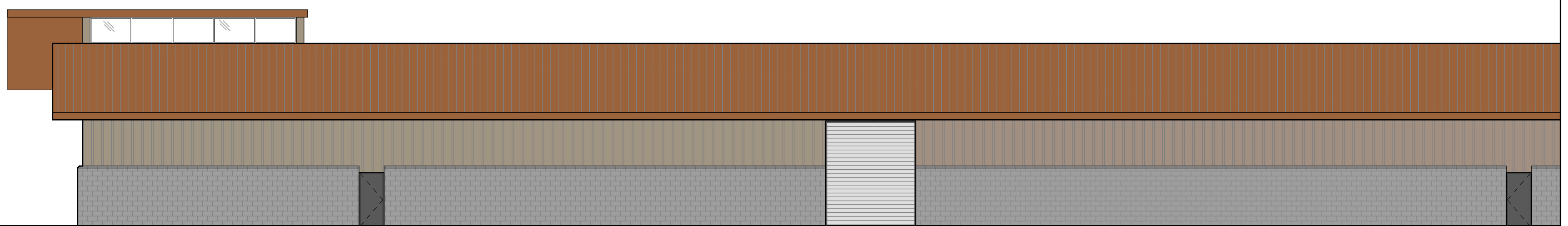
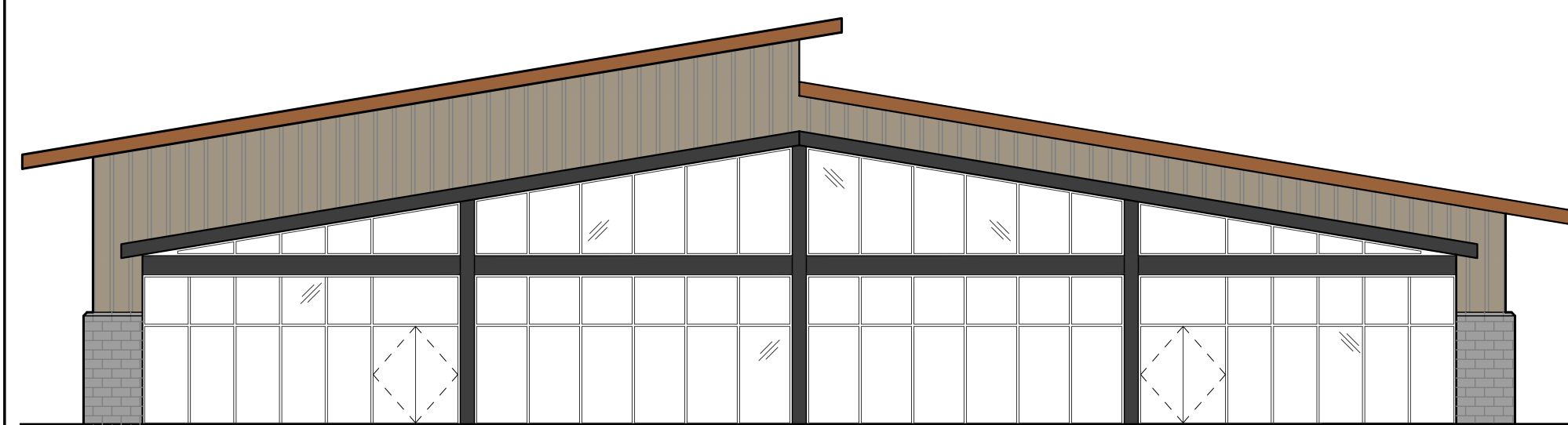
4 ALT. COLOR OPTION
SCALE: 3/32"=1'-0"



3 ALT. COLOR OPTION
SCALE: 3/32"=1'-0"



2 ALT. COLOR OPTION
SCALE: 3/32"=1'-0"



1 ALT. COLOR OPTION
SCALE: 3/32"=1'-0"

KΛOD
K A OLDHAM DESIGN, INC.

7 PERRY STREET
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COMMISSION NO:

2572.00

SHEET TITLE:

ALT. COLOR OPTIONS

SHEET NO:

A2.03

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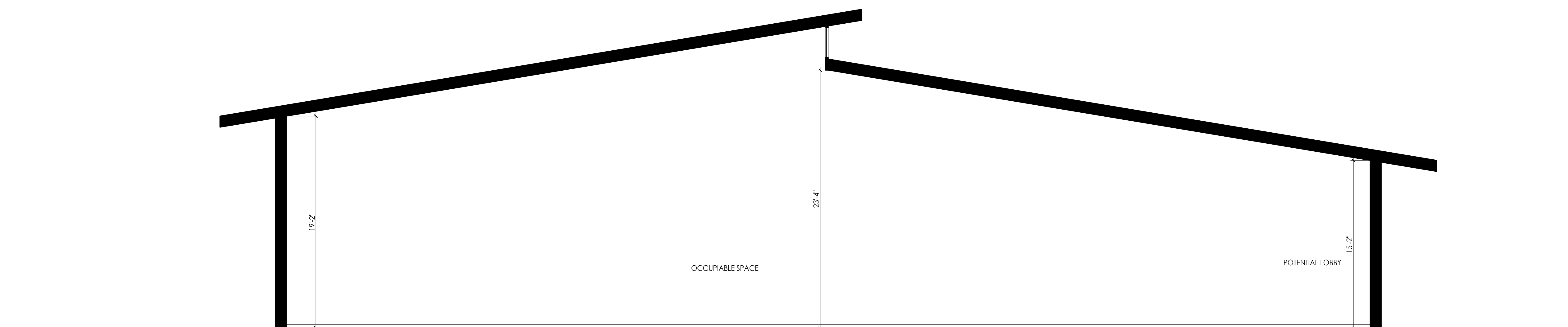
SHEET TITLE:

BUILDING SECTIONS

SHEET NO:

A3.01

NOT ISSUED FOR CONSTRUCTION



1 OFFICE SECTION
SCALE: 3/16"=1'-0"



Oconee County Utility Department

Board of Commissioners

John Daniell, Chairman
Mark Thomas, Post 1
Chuck Horton, Post 2
Amery Harden, Post 3
Mark Saxon, Post 4

December 19, 2025

Beall and Company
Ken Beall, RLA
3651 Mars Hill Road, Suite 1400
Watkinsville, GA 30677

Re: 1691 Jimmy Daniell Road

Regarding **potable water**, potable water is available for domestic and irrigation purposes. We note that an estimate of fire flow is not requested or provided. Our development files may contain nearby tests, if needed.

Regarding **wastewater treatment capacity**, connection to the wastewater collection system is not available for the above referenced location.

Availability

- The availability of water and sewer **does not guarantee connection.**
- Unforeseen drought conditions or wastewater treatment capacity limitations may affect or delay the issuance of permits or connections to the water and sewer systems.
- Availability is also subject to obtaining a satisfactory technical review of the applicable water and/or sewer extension application package during the construction plan review.

This Water and Sewer Availability Letter expires 1 year from the date of issuance.

Costs and Fees

All costs associated with this project for connecting to the existing water distribution system or sewer collection system is the responsibility of the Developer / Owner. Costs may include the following:

- Additional fire hydrants as requested by Fire Department
- Relocation of buried infrastructure to avoid road widening (ingress / egress lanes)
- Offsite gravity sewer extensions
- Private screening facilities to prevent future sewer blockage
- Upgrades of transmission facilities such as pumping stations
- Contributions to operation and maintenance costs such as odor control facilities,
- Other improvements as identified in the current Water and Sewer Improvement Plan.

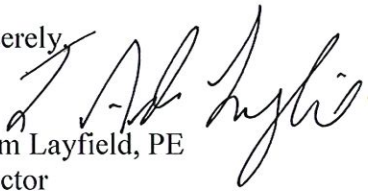
1291 GREENSBORO HIGHWAY ♦ PO BOX 88 ♦ WATKINSVILLE, GEORGIA 30677
PHONE: 706.769.3960 ♦ FAX: 706.769.3997

www.oconeecounty.com

Payment of fees associated with a new connection must be received in compliance with the Water and Wastewater Systems Ordinance, as revised.

Please give us a call if further discussion or clarification is needed.

Sincerely,



Adam Layfield, PE
Director

SPECIAL USE IMPACT ANALYSIS

SPECIAL USE IMPACT ANALYSIS

Standards for Special Use Consideration In AG Zone for Contractors Office/Showroom/Warehouse

- a. Will the proposed special use be consistent with the stated purpose of the zoning district in which it will be located?
The UDC states that it is the intent of the AG (Agricultural District) to preserve prime agricultural areas. The subject 5-acre parcel is clearly not a prime agricultural area backing up to a residential subdivision and located across the street from a residential multi-family development. Rather than more residential development on Jimmy Daniell Road, the owners desire to construct their 20,000 SF construction contractors office / showroom / warehouse building (with limited screened outdoor storage) in the middle of the 5-acre parcel as a special use and a much lower impact use than either agricultural use or residential use. All access to the building will be a single private driveway from Jimmy Daniell Road.
- b. Is the proposed special use compatible with the goals, objectives and intent of the comprehensive plan?
Yes.....The Future Land Use Map of the Comprehensive plan depict the subject property and all properties surrounding the subject property as REGIONAL CENTER character areas. The general characteristics of the Regional Center area is currently a "multi-use" area of distinct and separate uses. The area is characterized by regional-serving retail and commercial services, office complexes for medical and corporate offices, hotels, restaurants and entertainment facilities, etc.
- c. Will the establishment of a special use impede the normal and orderly development of surrounding properties for uses predominate in the area?
The subject special use as designed will not impede the normal and orderly development of surrounding properties.
- d. Is the location and character of the proposed special use consistent with a desirable pattern of development for the locality in general?
Yes....The special use as designed (20,000 SF on 5+acres) with landscaped buffers and access limited exclusively to Jimmie Daniel Road is a desirable pattern of development.
- e. Is or will the street providing access to the use be adequate to serve the proposed special use?
Yes.....as mentioned above the site will be accessed with a single private driveway from Jimmy Daniell Road as a use that generates very little traffic.
- f. Is or will access into and out of the property be adequate to provide for traffic and pedestrian safety, the additional volume of traffic flow, and access by emergency vehicles?
Yes.....The subject special use is a very low impact use.

- g. Are or will the public facilities such as schools, water or sewer utilities, and police or fire protection be adequate to serve the special use?

Yes.....As mentioned above, the special use is a low impact use with little to no impact on the water or no sanitary sewer, no impact on schools other than to provide additional tax funding, and no impact on existing adjacent residential roads.

- h. Are or will refuse, service, parking and loading areas on the property be located or screened to protect other properties in the area from such adverse effects as noise, light, glare or odor?

Yes.....A 50' zoning buffer is included on the SUP Concept Plan along the adjoining R1 zoned properties starting at the property line. There will be no glare because all lighting will be directed down and away from adjoining properties per the UDC. There will be nothing allowed on the property that could cause any odor.

- i. Will the hours and manner of operation of the special use have any adverse effects on other properties in the area?

None. Once the building and parking are completed there will be no activity on the site basically from 5:30 PM to around 7:30 AM (and no activity on weekends)

- j. Will the height, size or location of the buildings or other structures on the property be compatible with the height, size or location of buildings or other structures on neighboring properties?

The building and related access drive will be screened from view from the adjoining residential subdivision